



## Staff Summary Report

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Council Meeting Date: 07/22/2008

Agenda Item Number: \_\_\_\_\_

**SUBJECT:** This is the **introduction and first public hearing** to adopt an ordinance granting an easement to Salt River Project to install and maintain the facilities necessary to provide electrical service across a portion of property owned by the City pursuant to a GPLET Lease, known as Tempe Marketplace Project. **The second public hearing is scheduled for August 14, 2008.**

**DOCUMENT NAME:** 20080722cdnc02 **COMMUNITY DEVELOPMENT ADMIN. (0406)** Ordinance No. 2008.35.

**SUPPORTING DOCS:** Yes

**COMMENTS:** Salt River Project has requested an underground electrical easement across a portion of property owned by the City under a GPLET Lease for Tempe Marketplace, to allow the installation of power equipment to supply and maintain power facilities.

**PREPARED BY:** Neil Calfee, Deputy Community Development Manager (x. 2912)

**REVIEWED BY:** Chris Salomone, Community Development Manager (x 8294)

**LEGAL REVIEW AS TO FORM:** Cynthia McCoy, Assistant City Attorney (x. 2187)

**FISCAL NOTE:** N/A

**RECOMMENDATION:** Adopt Ordinance No. 2008.35 and authorize the Mayor to execute any necessary documents.

## **ORDINANCE NO. 2008.35**

### **AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF TEMPE, ARIZONA, GRANTING CERTAIN ELECTRICAL EASEMENTS WITHIN THE TEMPE MARKETPLACE PROJECT TO SALT RIVER PROJECT**

**WHEREAS**, on May 6, 2004 the Tempe City Council approved the City of Tempe Marketplace Development Parcel Agreement Parcel No. 1 (City Contract No. 2004-86), dated May 6, 2004 and recorded May 28, 2004 at 2004-0602991 of Official Records of Maricopa County, Arizona (the "Parcel Agreement"). The Parcel Agreement was modified on March 26, 2006 by the Tempe City Council approval of the City of Tempe Marketplace Implementation Agreement Parcel No. 1 (City contract No. C2004-86B), dated April 12, 2006 and recorded May 9, 2006 at 2006-0628851 of Official records of Maricopa County, Arizona (the "Implementation Agreement"). Both the Parcel Agreement and the Implementation Agreement provide that the Tempe Marketplace Project" would be subject to the Government Property Lease Excise Tax as provided for under ARS §42-6201 et. seq. and the City of Tempe has taken title to and possession of the land and improvements comprising the "Tempe Marketplace Project" to fulfill this obligation and has leased the Tempe Marketplace Project back to the developer, pursuant to that certain Property and Improvements Lease approved as part of the Implementation Agreement (the "Lease").

**WHEREAS**, Salt River Project ("SRP") has requested certain electrical easements within the Tempe Marketplace Project.

**WHEREAS**, the Developer has asked the City of Tempe to grant the easements, and the City of Tempe is willing to do so.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF TEMPE, ARIZONA**, as follows:

**Section 1.** That the City of Tempe does hereby authorize the granting of certain easements to Salt River Project a copy of which are on file with the City Clerk's office

**Section 2.** That the easements and other rights granted to Salt River Project shall be subject to the same encumbrances, liens, limitations, restrictions, and estates as exist on the land of which the easements are a part.

**Section 3.** That the Mayor of the City of Tempe is hereby authorized to execute any documents that may be necessary to carry out the provisions of this ordinance. Pursuant to City Charter, Section 2.12, ordinances are effective thirty (30) days after adoption.

**PASSED AND ADOPTED BY THE CITY COUNCIL OF THE CITY OF  
TEMPE, ARIZONA, this \_\_\_\_ day of \_\_\_\_\_, 2008.**

\_\_\_\_\_  
MAYOR

ATTEST:

\_\_\_\_\_  
City Clerk

APPROVED AS TO FORM:

\_\_\_\_\_  
City Attorney

**WHEN RECORDED MAIL TO:**

**SALT RIVER PROJECT**

Land Department/PAB350

P. O. Box 52025

Phoenix, Arizona 85072-2025

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**POWER DISTRIBUTION EASEMENT**

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Maricopa County

Parcel # MCR 969/20

(Tract A)

NW & NE ¼ 13, T.1 N.- R.4 E

R/W#921A & B Agt. MJM

Job #KJB-03073 (pt 4 of 4)

W *MJM* C *RJR*

**CITY OF TEMPE,  
an Arizona municipal corporation,**

hereinafter called Grantor, for and in consideration of the sum of One Dollar, and other valuable consideration, receipt of which is hereby acknowledged, does hereby grant and convey to **SALT RIVER PROJECT AGRICULTURAL IMPROVEMENT AND POWER DISTRICT**, an agricultural improvement district organized and existing under the laws of the State of Arizona, its agents, employees, contractors and permittees and its and their respective successors and assigns, hereinafter called the Grantee, a non-exclusive easement in, upon, over, under, across, through and along the lands hereinafter described (such lands hereinafter described being sometimes referred to herein as the "Easement Parcel") to construct, install, reconstruct, replace, remove, repair, operate and maintain underground electrical conductors, conduits, pipes, cables, vaults, pads, switching equipment, enclosures, manholes and transformers and all other appliances, appurtenances and fixtures (collectively "Facilities") for the transmission and distribution of electricity and for all other purposes connected therewith at such locations and elevations, in, upon, over, under, across, through and along the Easement Parcel as Grantee may now or hereafter deem convenient or necessary from time to time, together with the right of ingress and egress to, from, across and along the Grantor's Property. Grantee is hereby authorized to permit others to use the Easement Parcel for additional Facilities jointly with or separately from the Grantee for their purposes.

The lands in, upon, over, under, across, through and along which this easement is granted are situated in the County of Maricopa, State of Arizona, and are more particularly described as:

**Grantor's Property:**

Tract A, TEMPE MARKETPLACE AMENDED, recorded in Book 969 of Maps, page 20, records of Maricopa County, Arizona, being previously recorded as the same Tract, in the plat of TEMPE MARKETPLACE, recorded in Book 844 of Maps, page 44, records of Maricopa County, Arizona.

**EASEMENT PARCEL #1:**

Said easement being 8.00 feet in width, lying 4.00 feet on each side of the centerline (centerline of 8.00 foot easement) as delineated/depicted on the attached EXHIBIT "A", including equipment pad areas, if any, as prepared by SRP Surveys Department, dated February 27, 2008, and by reference made a part hereof.

EXCEPT any part thereof lying outside of said Grantor's Tract A.

The sidelines of said easement to terminate on all lines of said Grantor's Tract A.

**REMAINDER OF THIS PAGE INTENTIONALLY LEFT BLANK**

**CAUTION:** Facilities placed within the Easement Parcel may contain high voltage electrical equipment. Notice is hereby given that the location of underground electrical conductors or facilities must be verified as required by Arizona Revised Statutes, Section 40-360.21, et seq., Arizona Blue Stake Law, prior to any excavation.

Grantor shall maintain a clear area that extends 3.00 feet from and around all edges of all transformer pads and other equipment pads, and a clear operational area that extends 12.00 feet immediately in front of all transformer and other equipment openings. No obstruction, trees, shrubs, fixtures or permanent structures shall be placed within said areas.

Grantor shall not construct, install or place, or permit to be constructed, installed or placed any building or other structure, plant any trees, drill any well, store materials of any kind, or alter ground level by cut or fill, within the area of the Easement Parcel.

Grantee shall have the right (but not the obligation) to trim, cut and clear away trees, brush or other vegetation on the Easement Parcel whenever in its judgment the same shall be necessary for the convenient and safe exercise of the rights herein granted.

In the event Grantee records a document to formally abandon the easement granted herein, all Grantee's rights hereunder shall cease, except the right to remove any and all property placed upon the Easement Parcel within a reasonable time subsequent to such abandonment.

The covenants and agreements herein set forth shall extend and inure in favor and to the benefit of and shall be binding on the heirs, administrators, executors, personal representatives, legal representatives, successors (including successors in ownership and estate), assigns and lessees of the Grantor and Grantee.

The individual executing this document represents and warrants: (i) that he or she is authorized to do so on behalf of Grantor; (ii) that he or she has full legal power and authority to bind Grantor in accordance with the terms herein and, if necessary, has obtained all required consents or delegations of such power and authority (whether from any partner, owner, spouse, shareholder, director, member, manager, creditor, investor, developer, governmental authority, judicial or administrative body, association, or other person or entity); and (iii) that the execution, delivery, and performance by Grantor of this document and all others relating to the easement will not constitute a default under any agreement to which Grantor is a party. The individual executing this document shall indemnify, defend and hold harmless Grantee for, from and against any and all losses, costs, expenses, liabilities, claims, demands, and actions of any kind or nature, including court costs and attorneys' fees, arising or accruing as a result of the falsity of any of his or her representations and warranties contained in this document.

\_\_\_\_\_

By \_\_\_\_\_

Its \_\_\_\_\_

By \_\_\_\_\_

Its

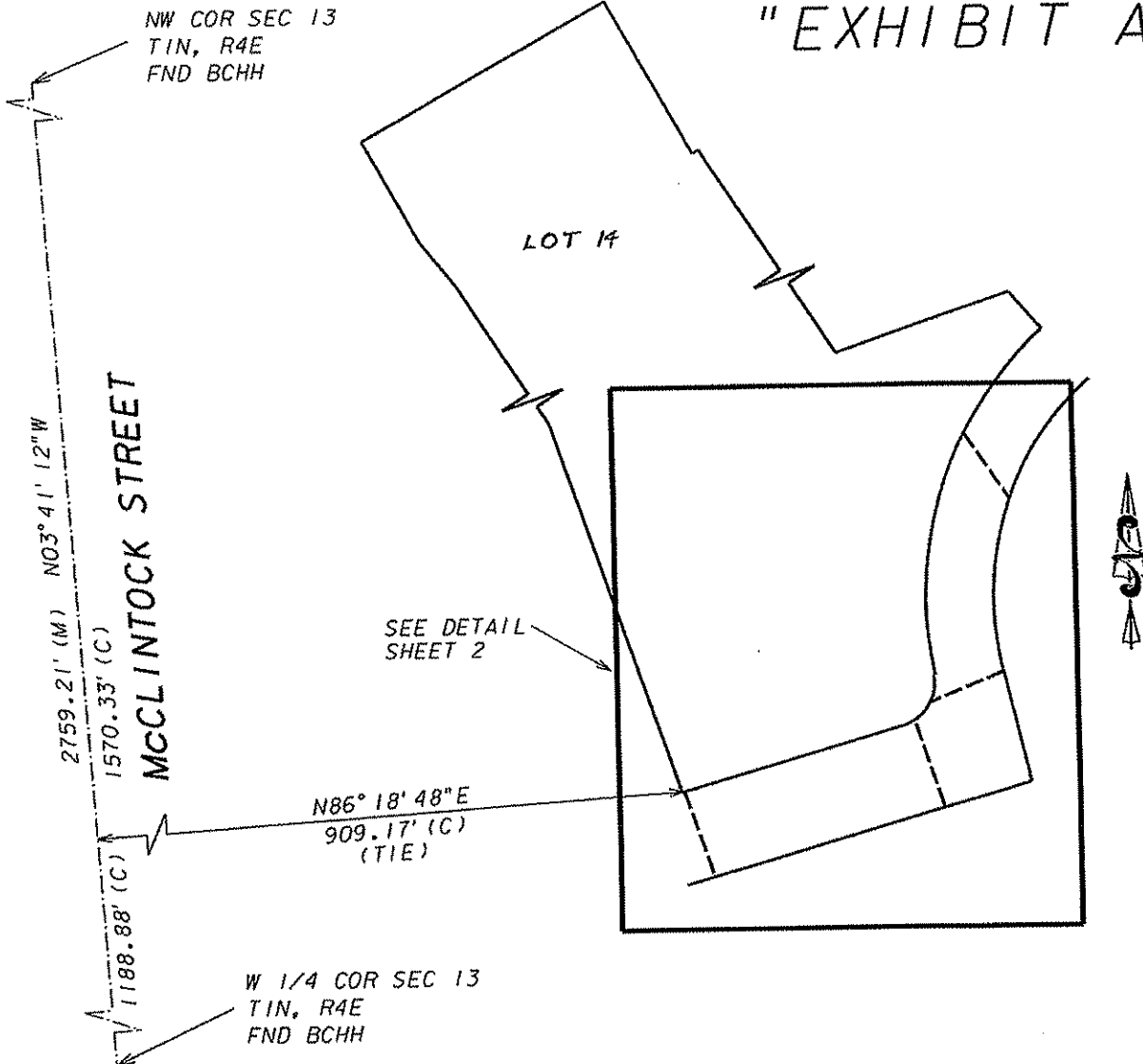
STATE OF \_\_\_\_\_ )  
 ) ss  
COUNTY OF \_\_\_\_\_ )

\_\_\_\_\_, as

\_\_\_\_\_  
Notary Public

**Note:** This instrument is exempt from the real estate transfer fee and affidavit of legal value required under A.R.S. Sections 11-1132 and 11-1133 pursuant to the exemptions set forth in A.R.S. Sections 11-1134(A)(2) and (A)(3).

# "EXHIBIT A"



## LEGEND

NOTE: SYMBOLS MAY NOT BE TO DRAWING SCALE,  
SO AS TO BETTER ENHANCE GRAPHICAL REPRESENTATION

- SECTION AND CENTERLINE
- PROPERTY LINE
- CENTERLINE OF 8' EASEMENT

## CAUTION

THE EASEMENT LOCATION AS HEREON  
DELINEATED MAY CONTAIN HIGH VOLTAGE  
ELECTRICAL EQUIPMENT, NOTICE IS  
HEREBY GIVEN THAT THE LOCATION OF  
UNDERGROUND ELECTRICAL CONDUCTORS  
OR FACILITIES MUST BE VERIFIED AS  
REQUIRED BY ARIZONA REVISED STATUTES,  
SECTION 40-380.21, ET. SEQ., ARIZONA  
BLUE STAKE LAW, PRIOR TO ANY  
EXCAVATION.

SRP JOB  
KJB-3073

## RIO SALADO PARKWAY

NOTE: THIS EXHIBIT IS INTENDED TO  
ACCOMPANY AN EASEMENT,  
IT IS NOT A SURVEY AND SHOULD  
NOT BE CONSTRUED AS SUCH.

EQUIPMENT PAD(S) ARE A PART OF THE  
EASEMENT UNLESS OTHERWISE NOTED.

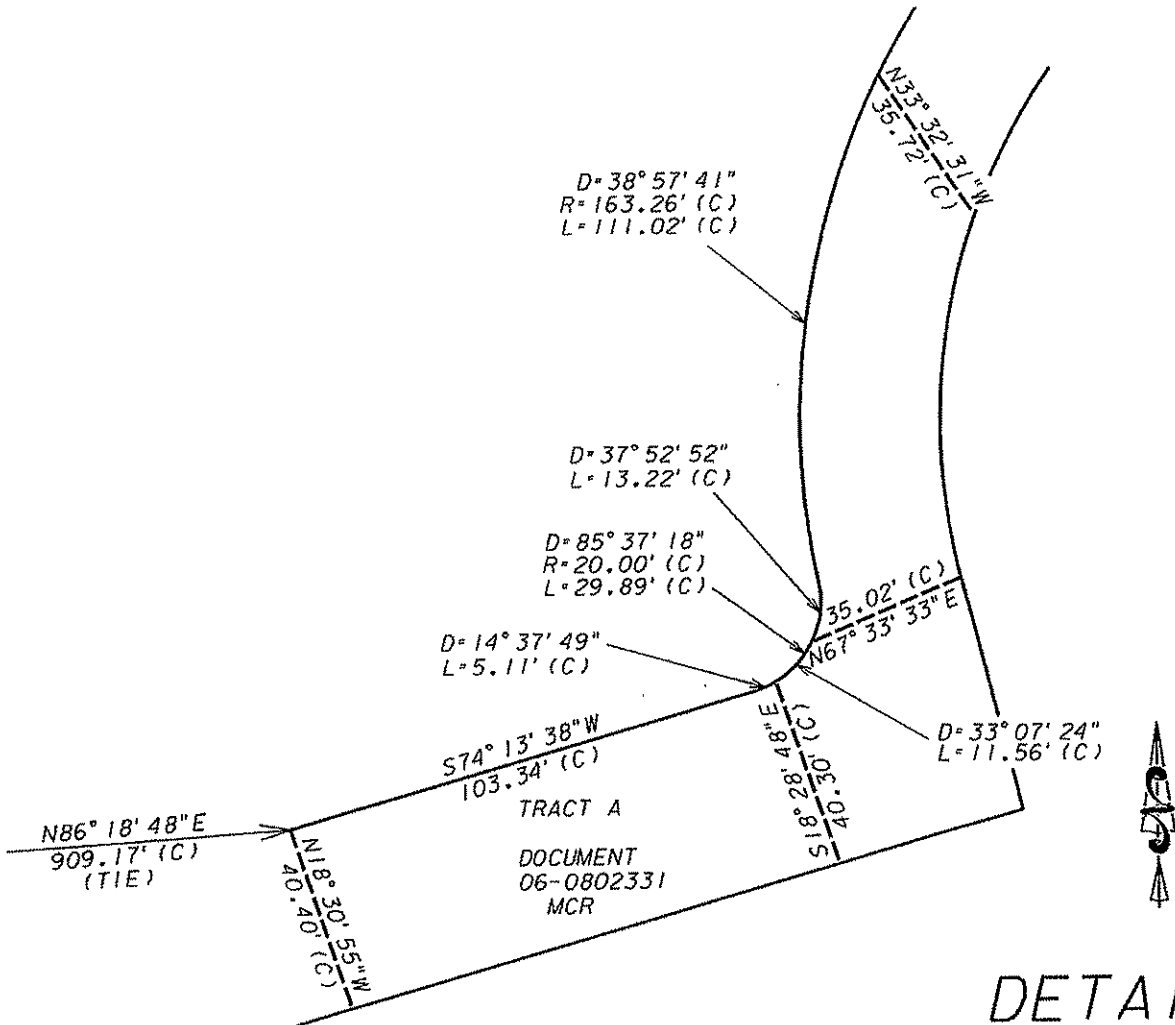
SALT RIVER PROJECT A.I.  
& POWER DISTRICT

TEMPE MARKET PLACE  
23.9 EAST - 3.7 NORTH  
NW1/4, SEC 13, T1N, R4E  
UNDERGROUND ELECTRIC  
POWER LINE RIGHT-OF-WAY

DESIGNED	SCHULTZ	AGENT	MCGUIRE
DRAWN	MARTIN	APPROVED:	
DATE	02-27-08		
SCALE	N.T.S.	SHEET	1 OF 2



# "EXHIBIT A"



DETAIL

## LEGEND

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- PROPERTY LINE
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KJB-3073

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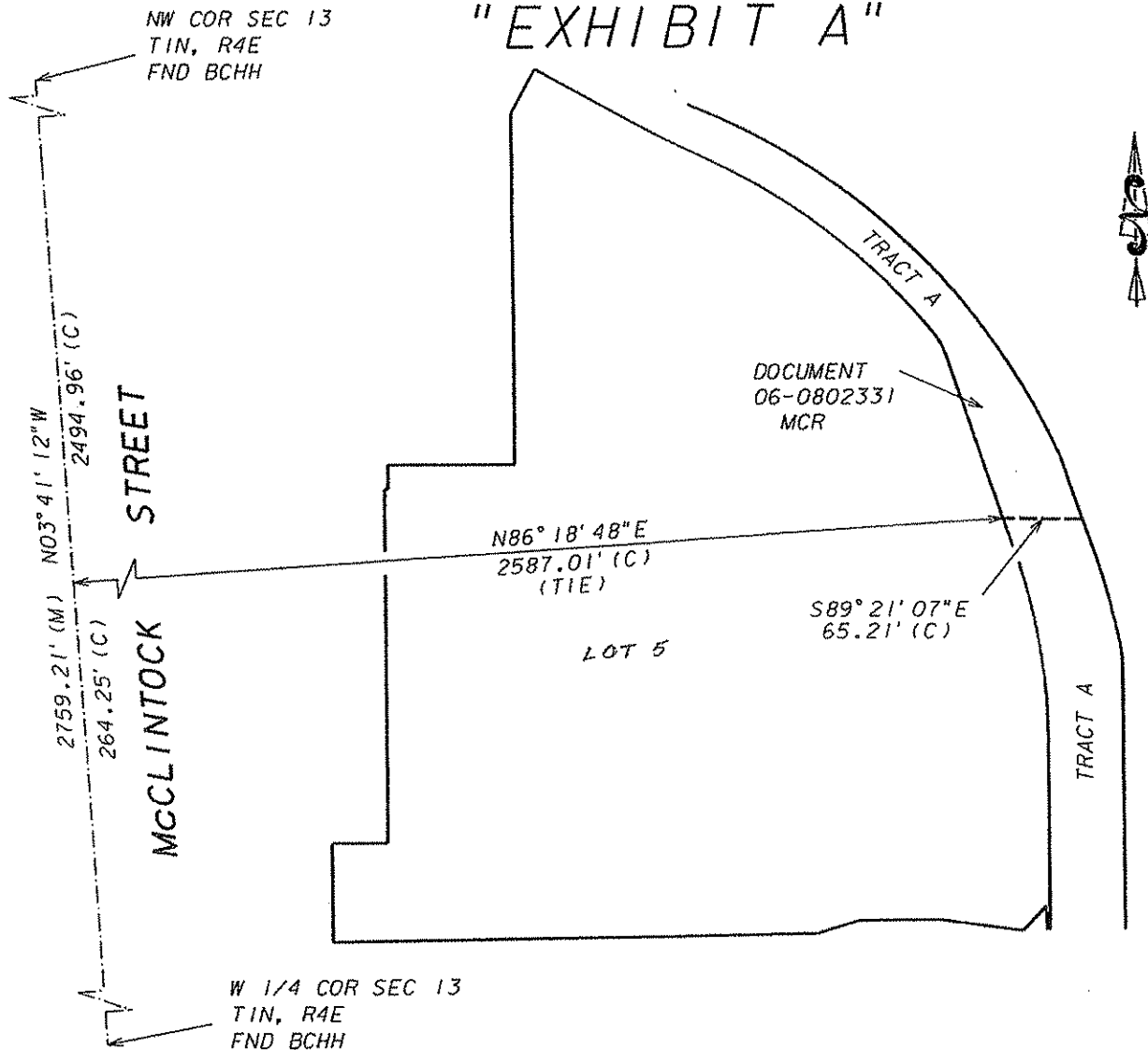
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SALT RIVER PROJECT A.I.  
& POWER DISTRICT

TEMPE MARKET PLACE  
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NW1/4, SEC 13, T1N, R4E  
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DESIGNED	SCHULTZ	AGENT	MCGUIRE
DRAWN	MARTIN	APPROVED:	
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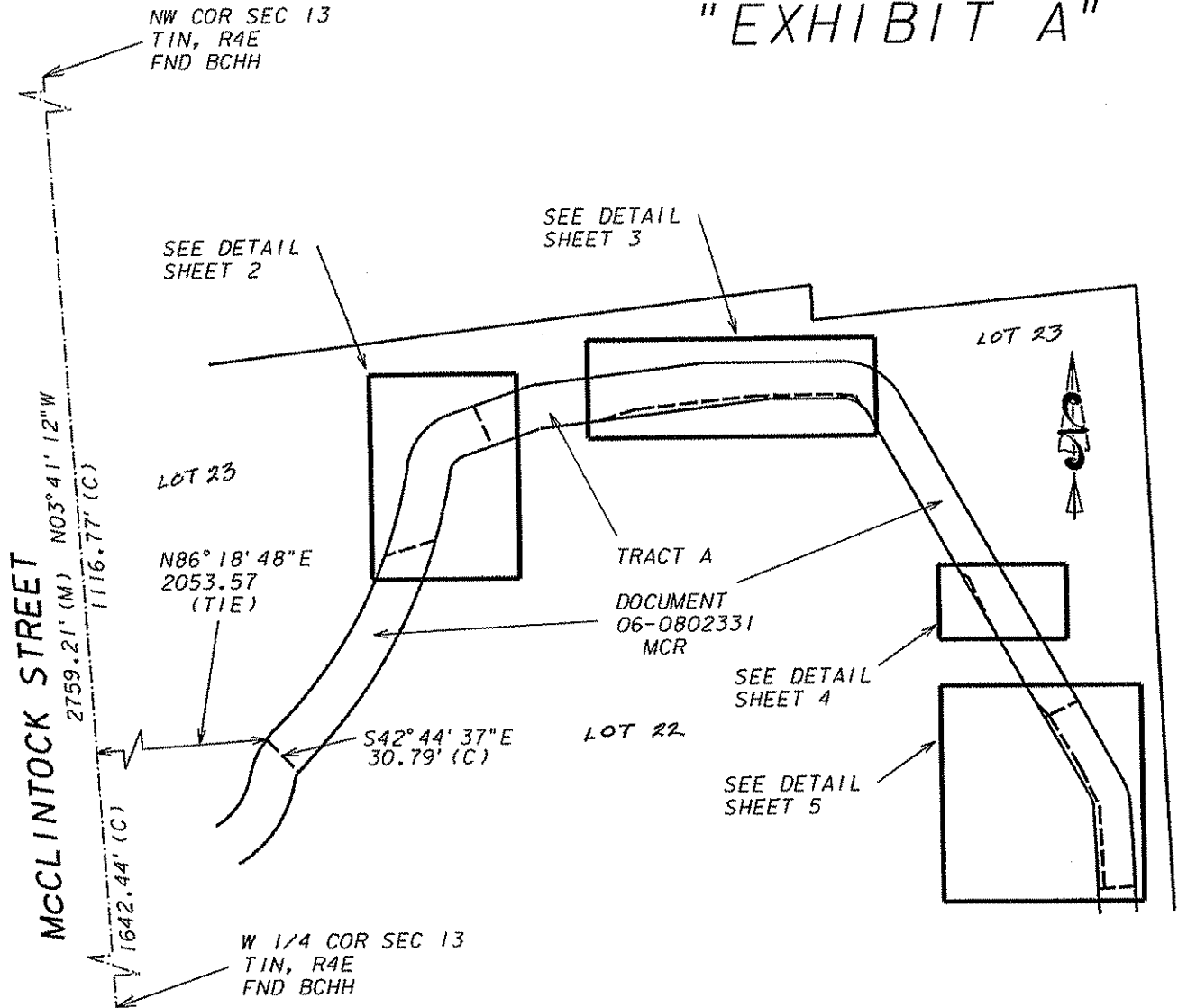
SRP JOB  
KJB-3073

SALT RIVER PROJECT A.I.  
& POWER DISTRICT

TEMPE MARKET PLACE  
23.9 EAST - 3.7 NORTH  
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DESIGNED	SCHULTZ	AGENT	MCGUIRE
DRAWN	MARTIN	APPROVED:	
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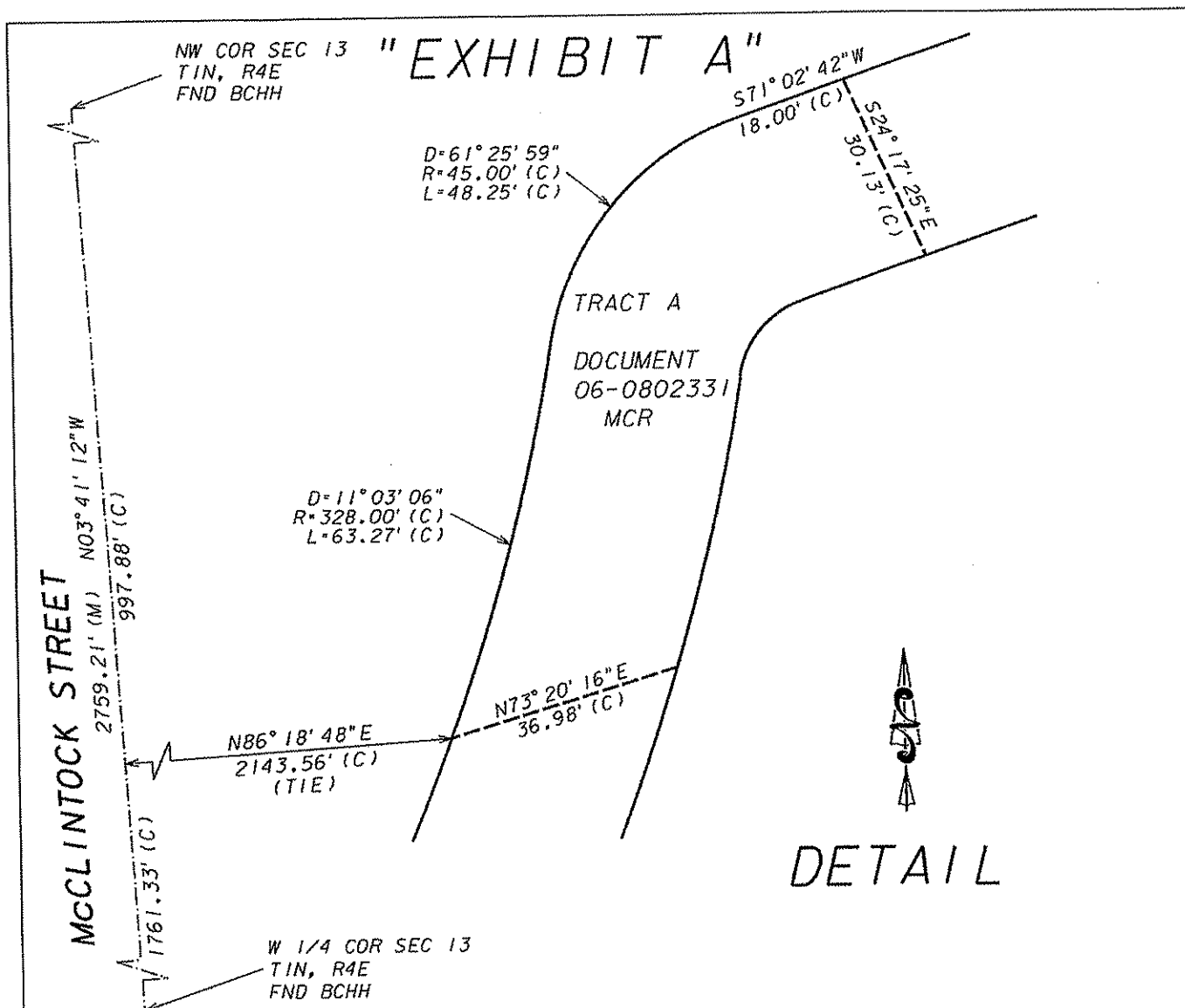
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DESIGNED _____	AGENT _____
DRAWN MARTIN	APPROVED: _____
DATE 02-27-08	
SCALE N.T.S.	SHEET 1 OF 5



## LEGEND

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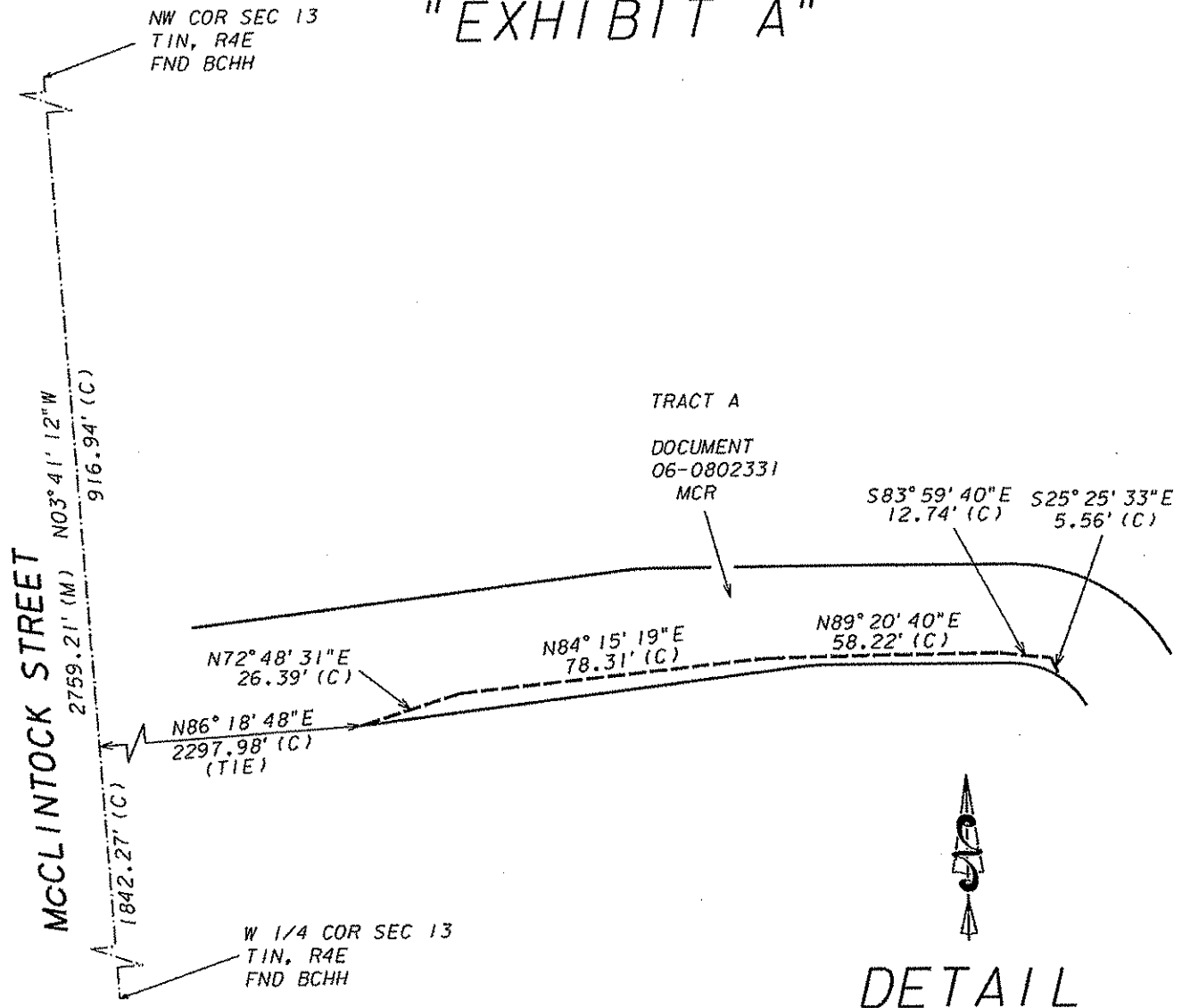
SRP JOB  
KJB-3073

SALT RIVER PROJECT A.I.  
& POWER DISTRICT

TEMPE MARKET PLACE  
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NW1/4, SEC 13, T1N, R4E  
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DESIGNED	AGENT	MCGUIRE
DRAWN	MARTIN	APPROVED:
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# "EXHIBIT A"



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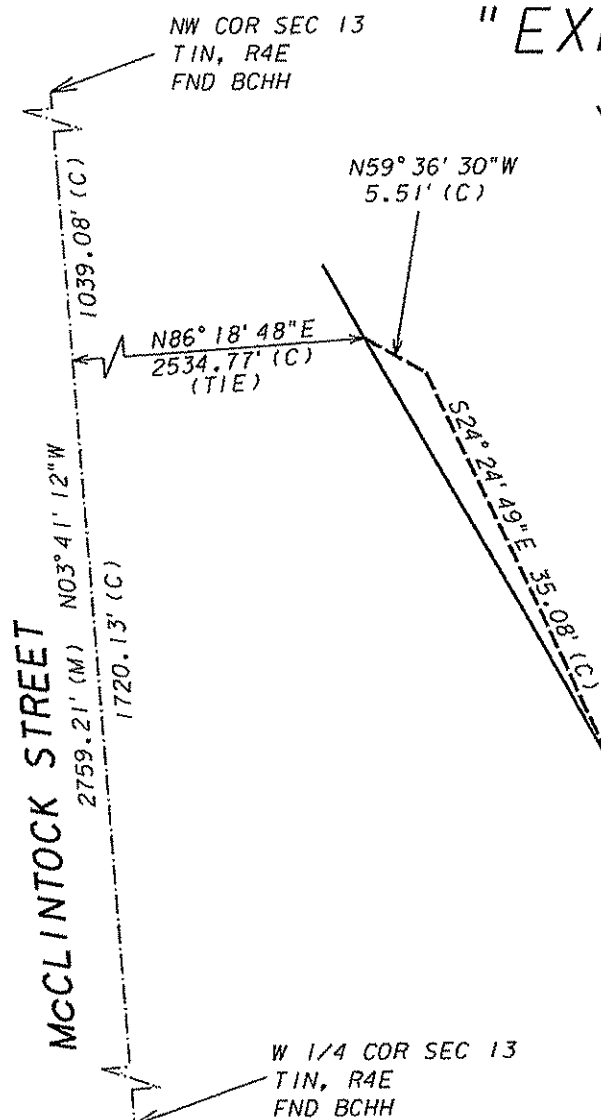
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DESIGNED	AGENT	MCGUIRE
DRAWN	MARTIN	APPROVED:
DATE	02-27-08	
SCALE	N.T.S.	SHEET 3 OF 5

# "EXHIBIT A"



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DETAIL

TRACT A

DOCUMENT  
06-0802331  
MCR

## LEGEND

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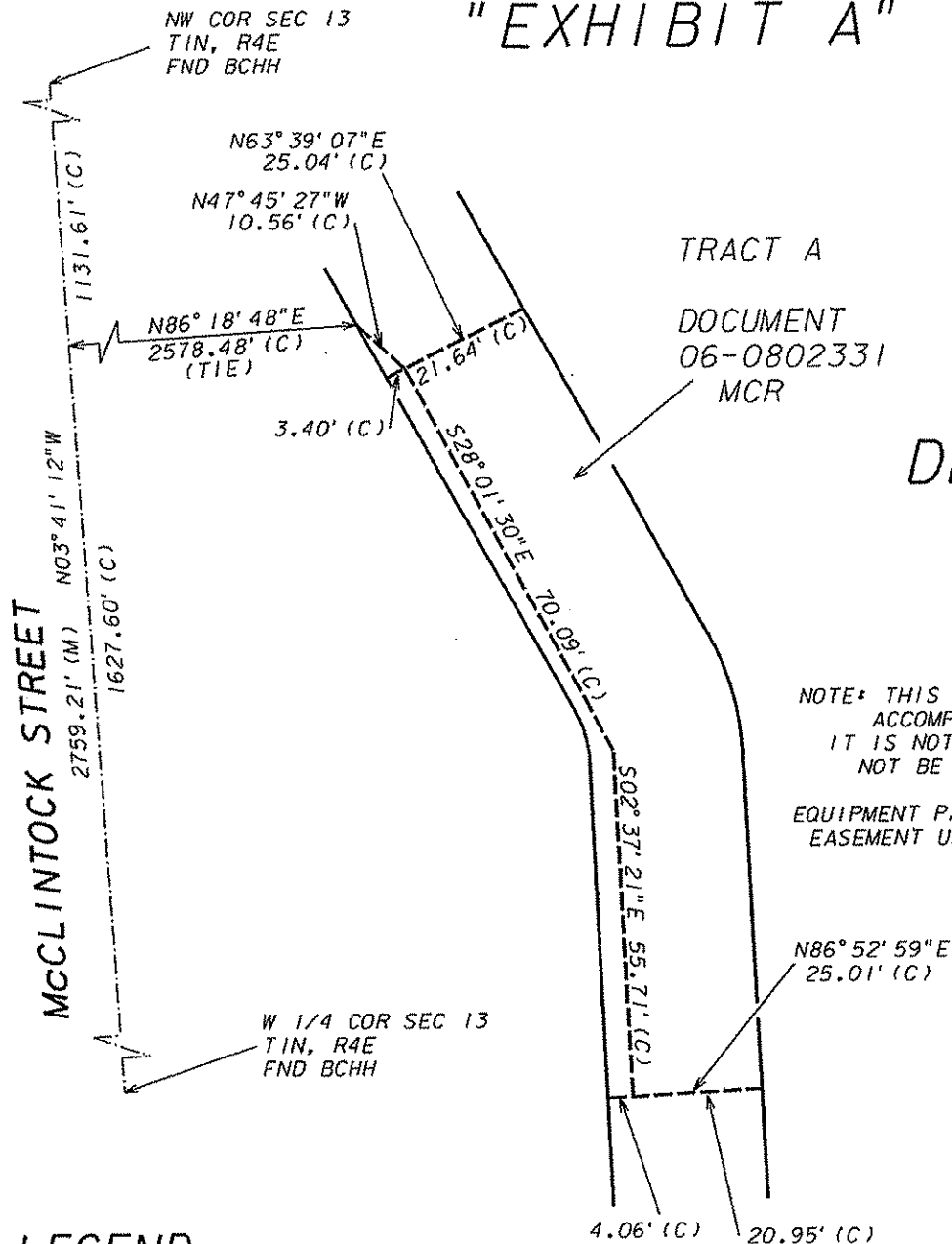
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DESIGNED _____	AGENT <u>MCGUIRE</u>
DRAWN <u>MARTIN</u>	APPROVED: _____
DATE <u>02-27-08</u>	
SCALE <u>N.T.S.</u>	SHEET <u>4</u> OF <u>5</u>

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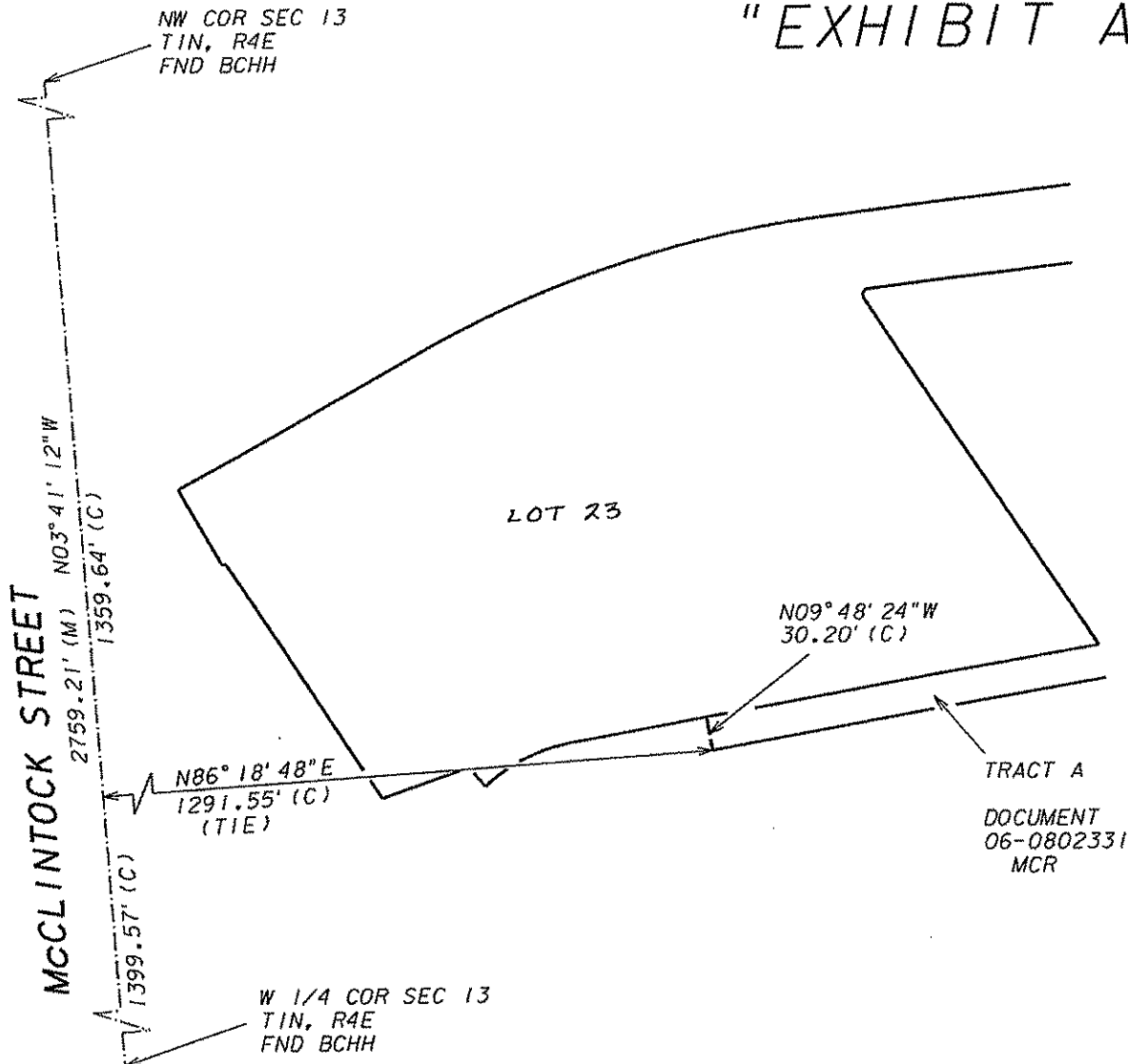
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SALT RIVER PROJECT A.I.  
& POWER DISTRICT

TEMPE MARKET PLACE  
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DESIGNED	AGENT	MCGUIRE
DRAWN	MARTIN	APPROVED:
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# "EXHIBIT A"



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DESIGNED	AGENT	MCGUIRE
DRAWN	MARTIN	APPROVED:
DATE	02-27-08	
SCALE	N.T.S.	SHEET 1 OF 1



**WHEN RECORDED MAIL TO:**

**SALT RIVER PROJECT**

Land Department/PAB350

P. O. Box 52025

Phoenix, Arizona 85072-2025

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**POWER DISTRIBUTION EASEMENT**

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Maricopa County

Parcel # MCR 969/20

(Lot 22)

NW & NE ¼ 13, T.1 N.- R.4 E

R/W#921A & B Agt. MJM

Job # KJB-03073 (pt 3 of 4)

W *MJM* C *RL*

**CITY OF TEMPE,**  
**an Arizona municipal corporation,**

hereinafter called Grantor, for and in consideration of the sum of One Dollar, and other valuable consideration, receipt of which is hereby acknowledged, does hereby grant and convey to **SALT RIVER PROJECT AGRICULTURAL IMPROVEMENT AND POWER DISTRICT**, an agricultural improvement district organized and existing under the laws of the State of Arizona, its agents, employees, contractors and permittees and its and their respective successors and assigns, hereinafter called the Grantee, a non-exclusive easement in, upon, over, under, across, through and along the lands hereinafter described (such lands hereinafter described being sometimes referred to herein as the "Easement Parcel") to construct, install, reconstruct, replace, remove, repair, operate and maintain underground electrical conductors, conduits, pipes, cables, vaults, pads, switching equipment, enclosures, manholes and transformers and all other appliances, appurtenances and fixtures (collectively "Facilities") for the transmission and distribution of electricity and for all other purposes connected therewith at such locations and elevations, in, upon, over, under, across, through and along the Easement Parcel as Grantee may now or hereafter deem convenient or necessary from time to time, together with the right of ingress and egress to, from, across and along the Grantor's Property. Grantee is hereby authorized to permit others to use the Easement Parcel for additional Facilities jointly with or separately from the Grantee for their purposes.

The lands in, upon, over, under, across, through and along which this easement is granted are situated in the County of Maricopa, State of Arizona, and are more particularly described as:

**Grantor's Property:**

Lot 22, TEMPE MARKETPLACE AMENDED, recorded in Book 969 of Maps, page 20, records of Maricopa County, Arizona, being previously recorded as the same Lot number, in the plat of TEMPE MARKETPLACE, recorded in Book 844 of Maps, page 44, records of Maricopa County, Arizona.

**EASEMENT PARCEL #1:**

Said easement being 8.00 feet in width, lying 4.00 feet on each side of the centerline (centerline of 8.00 foot easement) as delineated/depicted on the attached EXHIBIT "A", including equipment pad areas, as prepared by SRP Surveys Department, dated February 27, 2008, and by reference made a part hereof.

EXCEPT any part thereof lying outside of said Grantor's Lot 22.

The sidelines of said easement to terminate on all lines of said Grantor's Lot 22.

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Grantor shall maintain a clear area that extends 3.00 feet from and around all edges of all transformer pads and other equipment pads, and a clear operational area that extends 12.00 feet immediately in front of all transformer and other equipment openings. No obstruction, trees, shrubs, fixtures or permanent structures shall be placed within said areas.

Grantor shall not construct, install or place, or permit to be constructed, installed or placed any building or other structure, plant any trees, drill any well, store materials of any kind, or alter ground level by cut or fill, within the area of the Easement Parcel.

Grantee shall have the right (but not the obligation) to trim, cut and clear away trees, brush or other vegetation on the Easement Parcel whenever in its judgment the same shall be necessary for the convenient and safe exercise of the rights herein granted.

In the event Grantee records a document to formally abandon the easement granted herein, all Grantee's rights hereunder shall cease, except the right to remove any and all property placed upon the Easement Parcel within a reasonable time subsequent to such abandonment.

The covenants and agreements herein set forth shall extend and inure in favor and to the benefit of and shall be binding on the heirs, administrators, executors, personal representatives, legal representatives, successors (including successors in ownership and estate), assigns and lessees of the Grantor and Grantee.

The individual executing this document represents and warrants: (i) that he or she is authorized to do so on behalf of Grantor; (ii) that he or she has full legal power and authority to bind Grantor in accordance with the terms herein and, if necessary, has obtained all required consents or delegations of such power and authority (whether from any partner, owner, spouse, shareholder, director, member, manager, creditor, investor, developer, governmental authority, judicial or administrative body, association, or other person or entity); and (iii) that the execution, delivery, and performance by Grantor of this document and all others relating to the easement will not constitute a default under any agreement to which Grantor is a party. The individual executing this document shall indemnify, defend and hold harmless Grantee for, from and against any and all losses, costs, expenses, liabilities, claims, demands, and actions of any kind or nature, including court costs and attorneys' fees, arising or accruing as a result of the falsity of any of his or her representations and warranties contained in this document.

\_\_\_\_\_

By \_\_\_\_\_

Its \_\_\_\_\_

By \_\_\_\_\_

Its \_\_\_\_\_

STATE OF \_\_\_\_\_ )  
 ) ss  
COUNTY OF \_\_\_\_\_ )

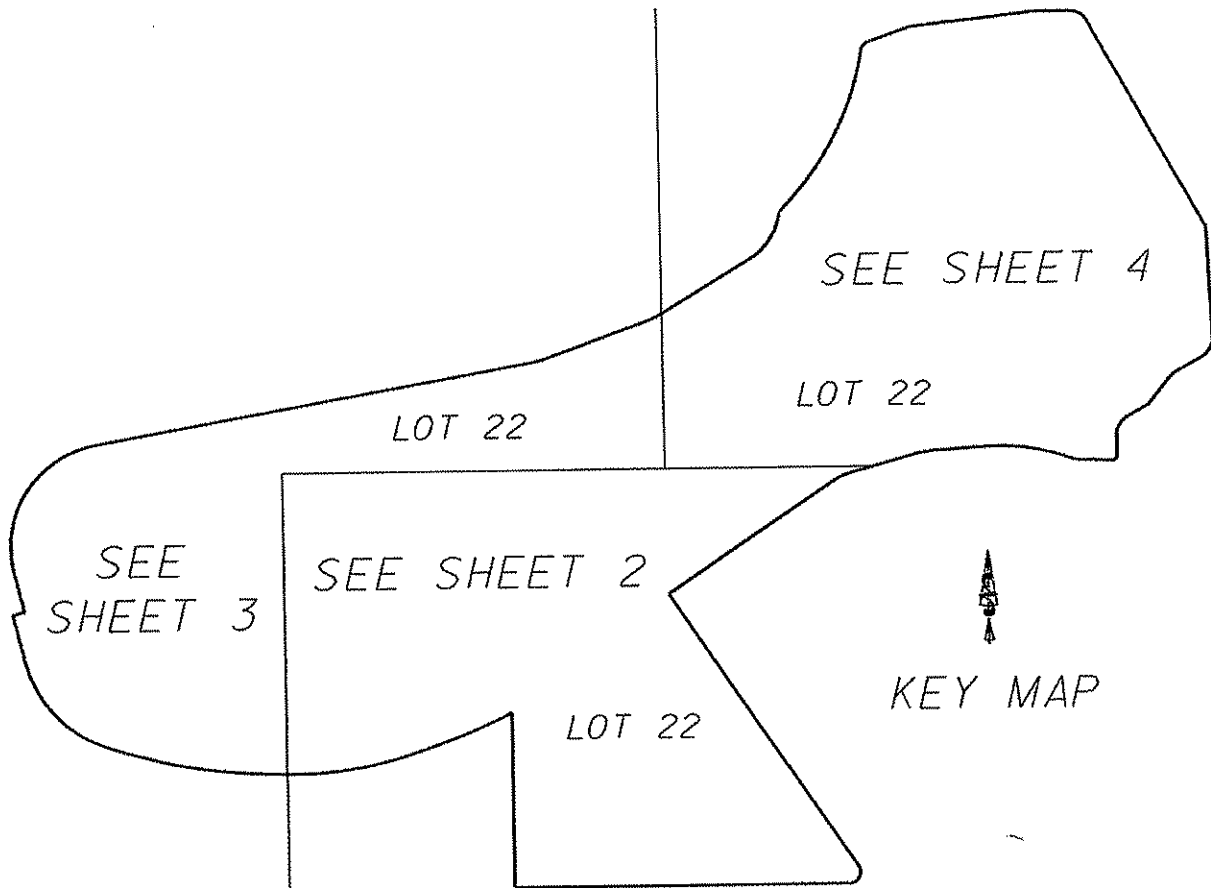
My Commission Expires:

Notary Public

Notary Stamp/Seal

Cimage/KJB-3073-3/City of Tempe PDE/kmf/042508

# "EXHIBIT A"



SALT RIVER PROJECT A.I.  
& POWER DISTRICT

TEMPE MARKET PLACE  
23.9 EAST - 3.7 NORTH  
NW1/4, SEC 13, T1N, R4E  
UNDERGROUND ELECTRIC  
POWER LINE RIGHT-OF-WAY

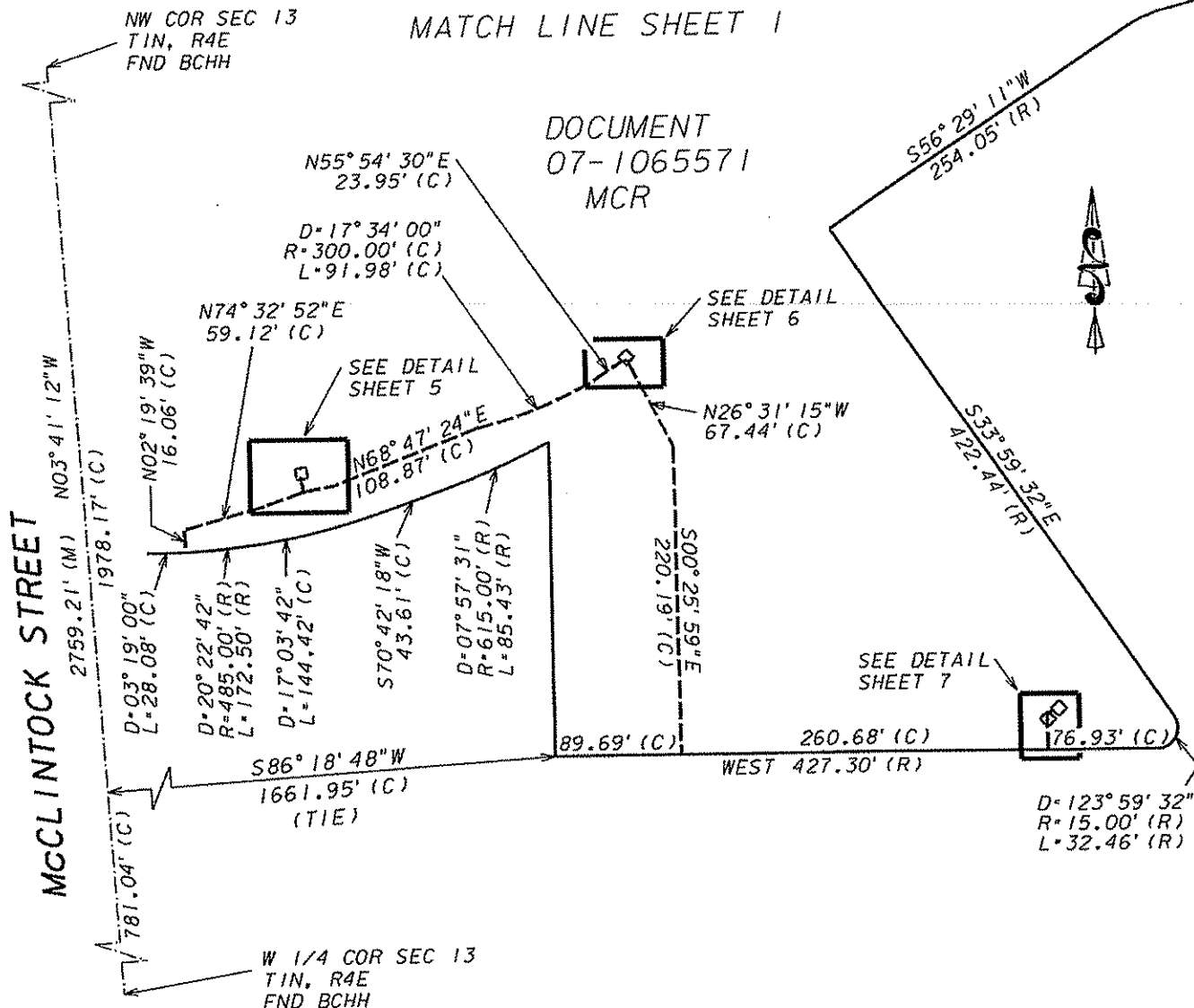
DESIGNED	SCHULTZ	AGENT	MCGUIRE
DRAWN	MARTIN	APPROVED:	
DATE	02-27-08		
SCALE	N.T.S.	SHEET	1 OF 12

SRP JOB  
KJB-3073

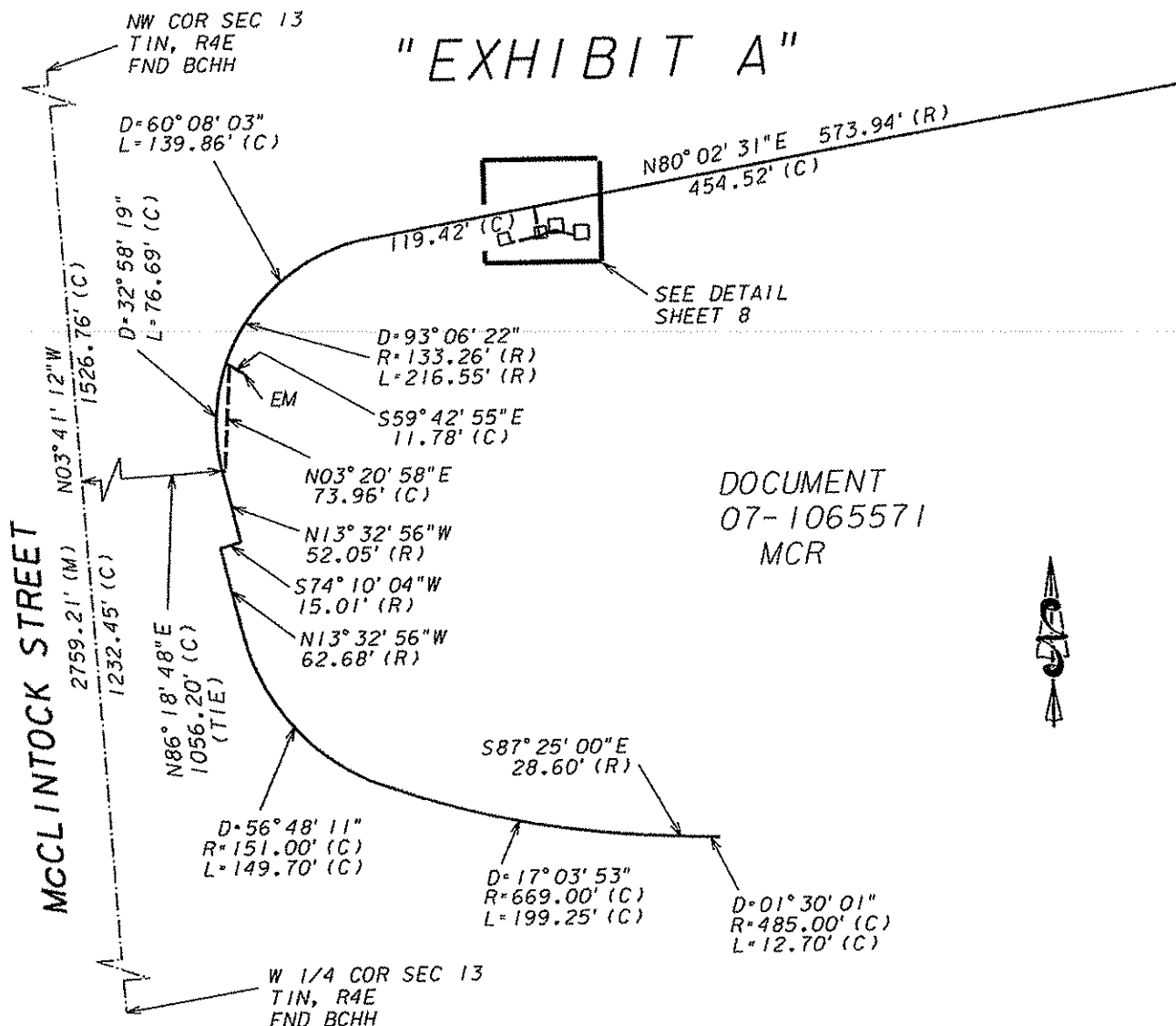
# "EXHIBIT A"

## MATCH LINE SHEET 1

DOCUMENT  
07-1065571  
MCR



# "EXHIBIT A"



## LEGEND

NOTE: SYMBOLS MAY NOT BE TO DRAWING SCALE,  
SO AS TO BETTER ENHANCE GRAPHICAL REPRESENTATION

- SECTION AND CENTERLINE
- ===== PROPERTY LINE
- CENTERLINE OF 8' EASEMENT
- EQUIPMENT PAD

## CAUTION

THE EASEMENT LOCATION AS HEREON  
DELINEATED MAY CONTAIN HIGH VOLTAGE  
ELECTRICAL EQUIPMENT, NOTICE IS  
HEREBY GIVEN THAT THE LOCATION OF  
UNDERGROUND ELECTRICAL CONDUCTORS  
OR FACILITIES MUST BE VERIFIED AS  
REQUIRED BY ARIZONA REVISED STATUTES,  
SECTION 40-380.21, ET. SEQ., ARIZONA  
BLUE STAKE LAW, PRIOR TO ANY  
EXCAVATION.

SRP JOB  
KJB-3073

NOTE: THIS EXHIBIT IS INTENDED TO  
ACCOMPANY AN EASEMENT,  
IT IS NOT A SURVEY AND SHOULD  
NOT BE CONSTRUED AS SUCH.

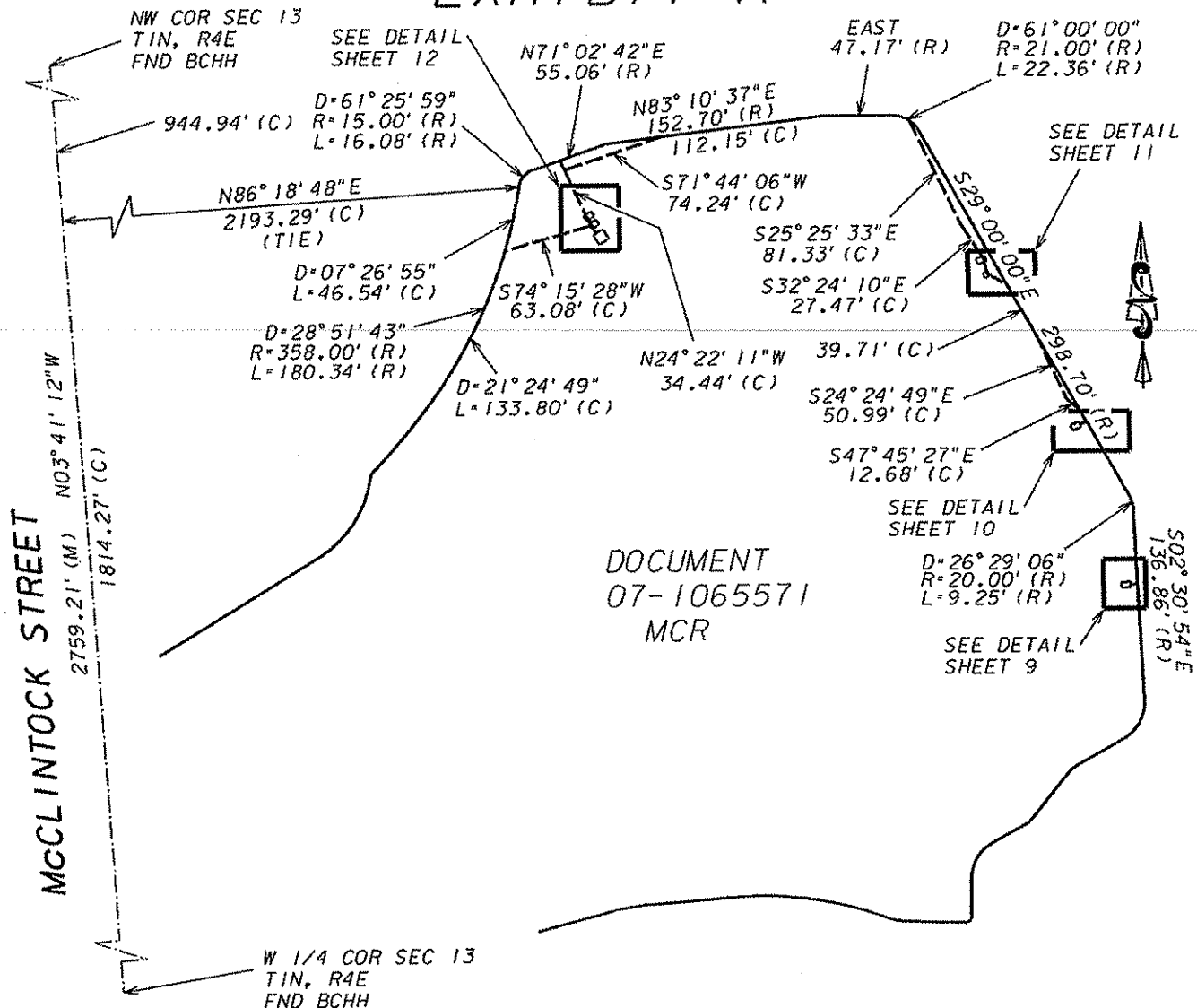
EQUIPMENT PAD(S) ARE A PART OF THE  
EASEMENT UNLESS OTHERWISE NOTED.

SALT RIVER PROJECT A.I.  
& POWER DISTRICT

TEMPE MARKET PLACE  
23.9 EAST - 3.7 NORTH  
NW1/4, SEC 13, T1N, R4E  
UNDERGROUND ELECTRIC  
POWER LINE RIGHT-OF-WAY

DESIGNED	SCHULTZ	AGENT	MCGUIRE
DRAWN	MARTIN	APPROVED:	
DATE	02-27-08		
SCALE	N.T.S.	SHEET	3 OF 12

# "EXHIBIT A"



## LEGEND

NOTE: SYMBOLS MAY NOT BE TO DRAWING SCALE, SO AS TO BETTER ENHANCE GRAPHICAL REPRESENTATION

- SECTION AND CENTERLINE
- PROPERTY LINE
- CENTERLINE OF 8' EASEMENT
- EQUIPMENT PAD

## CAUTION

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SRP JOB  
KJB-3073

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SALT RIVER PROJECT A.I.  
& POWER DISTRICT

TEMPE MARKET PLACE  
23.9 EAST - 3.7 NORTH  
NW1/4, SEC 13, TIN, R4E  
UNDERGROUND ELECTRIC  
POWER LINE RIGHT-OF-WAY

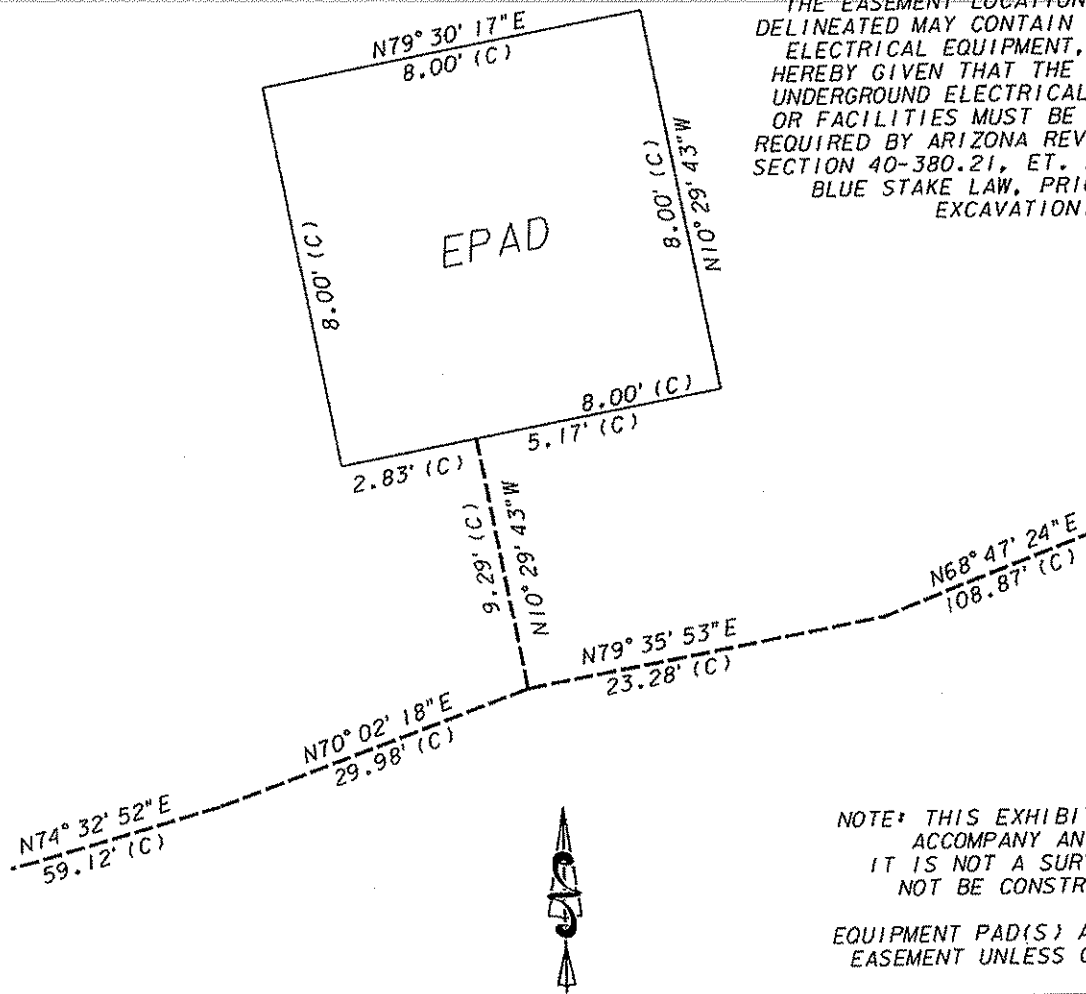
DESIGNED	SCHULTZ	AGENT	MCGUIRE
DRAWN	MARTIN	APPROVED:	
DATE	02-27-08		
SCALE	N.T.S.	SHEET	4 OF 12



# "EXHIBIT A"

## CAUTION

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## DETAIL

## LEGEND

NOTE: SYMBOLS MAY NOT BE TO DRAWING SCALE, SO AS TO BETTER ENHANCE GRAPHICAL REPRESENTATION

----- CENTERLINE OF 8' EASEMENT

SRP JOB  
KJB-3073

SALT RIVER PROJECT A.1.  
& POWER DISTRICT

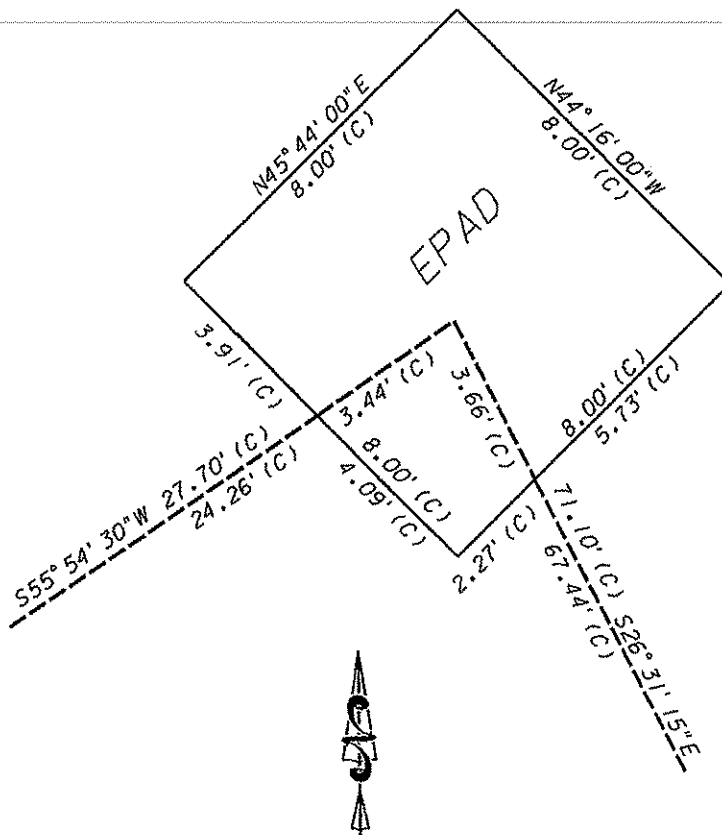
TEMPE MARKET PLACE  
23.9 EAST - 3.7 NORTH  
NW 1/4, SEC 13, T1N, R4E  
UNDERGROUND ELECTRIC  
POWER LINE RIGHT-OF-WAY

DESIGNED	SCHULTZ	AGENT	MCGUIRE
DRAWN	MARTIN	APPROVED:	
DATE	02-27-08		
SCALE	N.T.S.	SHEET	5 OF 12

# "EXHIBIT A"

## CAUTION

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## LEGEND

NOTE: SYMBOLS MAY NOT BE TO DRAWING  
SCALE, SO AS TO BETTER ENHANCE  
GRAPHICAL REPRESENTATION

----- CENTERLINE OF 8' EASEMENT

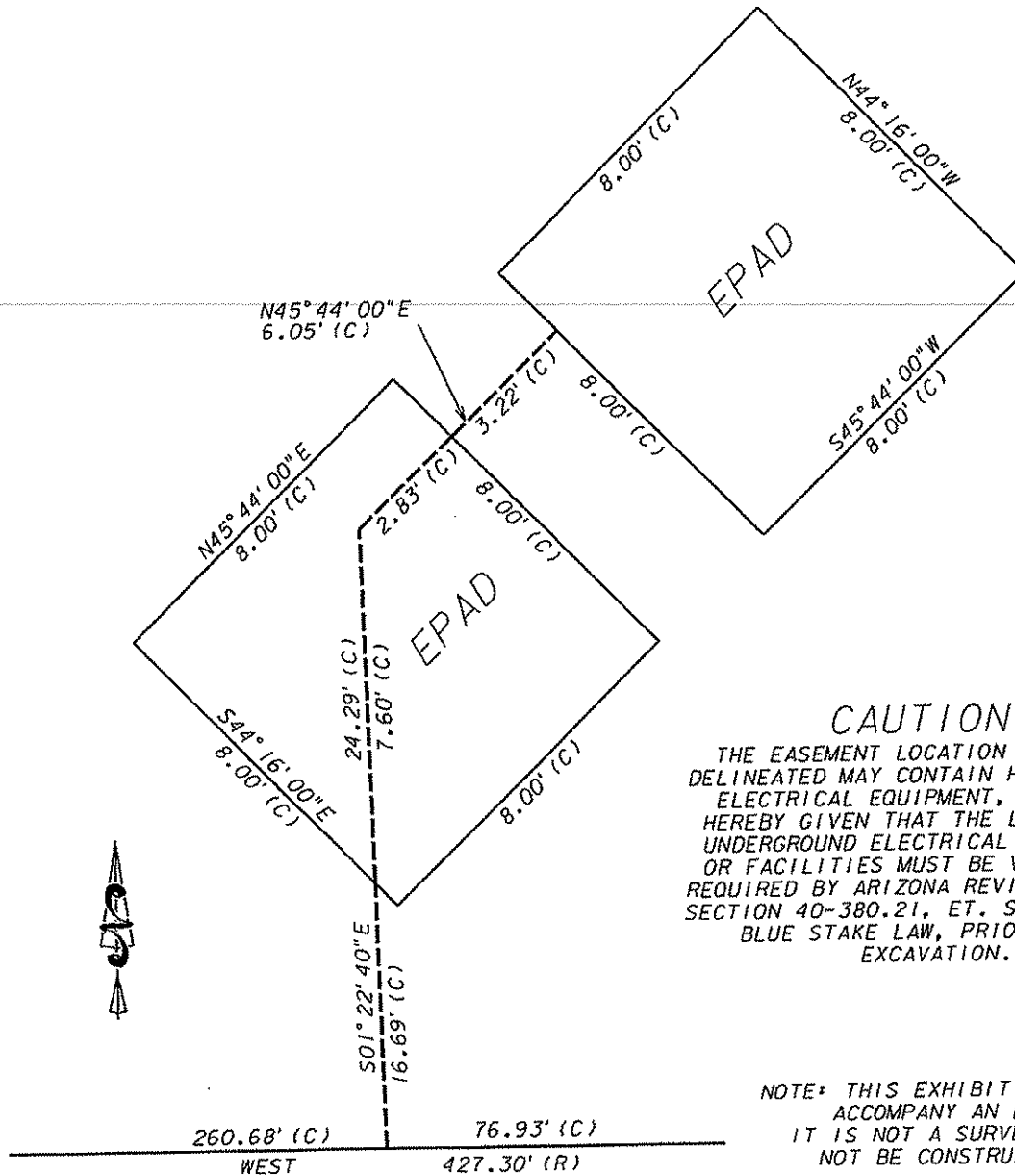
SALT RIVER PROJECT A.I.  
& POWER DISTRICT

TEMPE MARKET PLACE  
23.9 EAST - 3.7 NORTH  
NW1/4, SEC 13, T1N, R4E  
UNDERGROUND ELECTRIC  
POWER LINE RIGHT-OF-WAY

DESIGNED	SCHULTZ	AGENT	MCGUIRE
DRAWN	MARTIN	APPROVED:	
DATE	02-27-08		
SCALE	N.T.S.	SHEET	6 OF 12

SRP JOB  
KJB-3073

# "EXHIBIT A"



## CAUTION

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## DETAIL

## LEGEND

NOTE: SYMBOLS MAY NOT BE TO DRAWING SCALE, SO AS TO BETTER ENHANCE GRAPHICAL REPRESENTATION

————— PROPERTY LINE  
 - - - - - CENTERLINE OF 8' EASEMENT

SRP JOB  
 KJB-3073

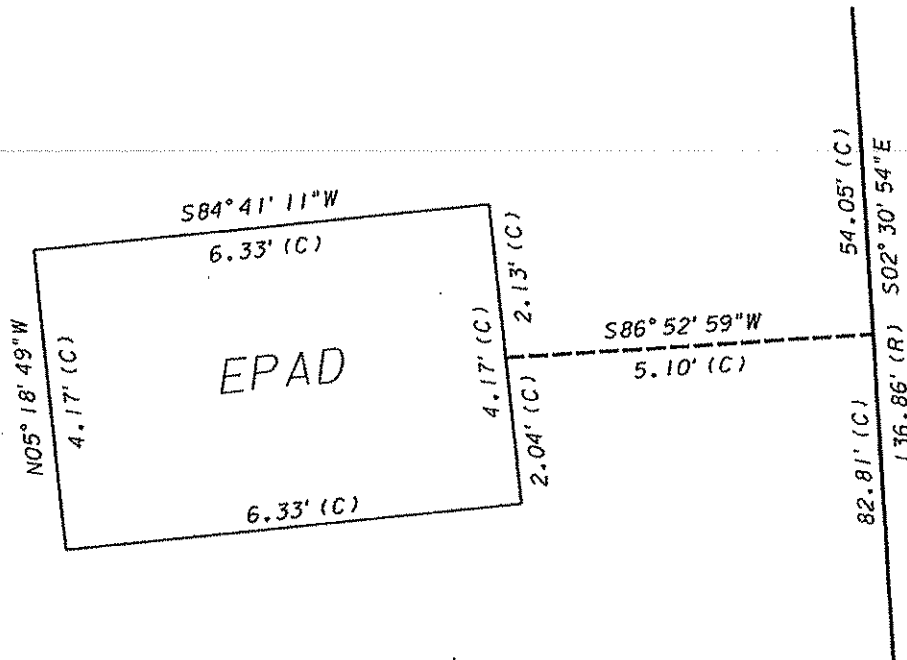
SALT RIVER PROJECT A.I.  
 & POWER DISTRICT

TEMPE MARKET PLACE  
 23.9 EAST - 3.7 NORTH  
 NW1/4, SEC 13, T1N, R4E  
 UNDERGROUND ELECTRIC  
 POWER LINE RIGHT-OF-WAY

DESIGNED	SCHULTZ	AGENT	MCGUIRE
DRAWN	MARTIN	APPROVED:	
DATE	02-27-08		
SCALE	N.T.S.	SHEET	7 OF 12

DESIGNED SCHULTZ AGENT MCGUIRE  
DRAWN MARTIN APPROVED: \_\_\_\_\_  
DATE 02-27-08  
SCALE N.T.S. SHEET 8 OF 12

# "EXHIBIT A"



## DETAIL

### LEGEND

NOTE: SYMBOLS MAY NOT BE TO DRAWING SCALE, SO AS TO BETTER ENHANCE GRAPHICAL REPRESENTATION

————— PROPERTY LINE  
 - - - - - CENTERLINE OF 8' EASEMENT

### CAUTION

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SALT RIVER PROJECT A.I.  
 & POWER DISTRICT

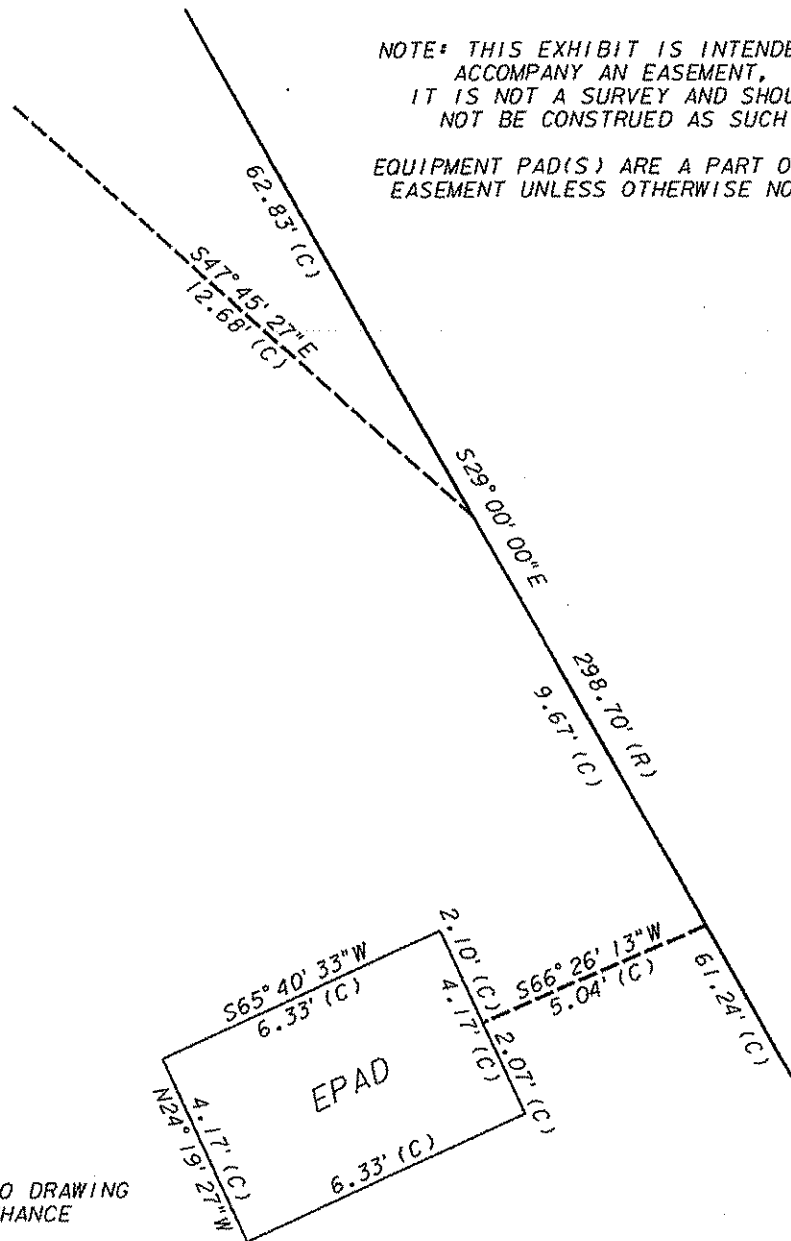
TEMPE MARKET PLACE  
 23.9 EAST - 3.7 NORTH  
 NW1/4, SEC 13, T1N, R4E  
 UNDERGROUND ELECTRIC  
 POWER LINE RIGHT-OF-WAY

DESIGNED	SCHULTZ	AGENT	MCGUIRE
DRAWN	MARTIN	APPROVED:	
DATE	02-27-08		
SCALE	N.T.S.	SHEET	9 OF 12

# "EXHIBIT A"

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DETAIL

## LEGEND

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————— PROPERTY LINE  
 - - - - - CENTERLINE OF 8' EASEMENT

## CAUTION

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SRP JOB  
KJB-3073

SALT RIVER PROJECT A.I.  
& POWER DISTRICT

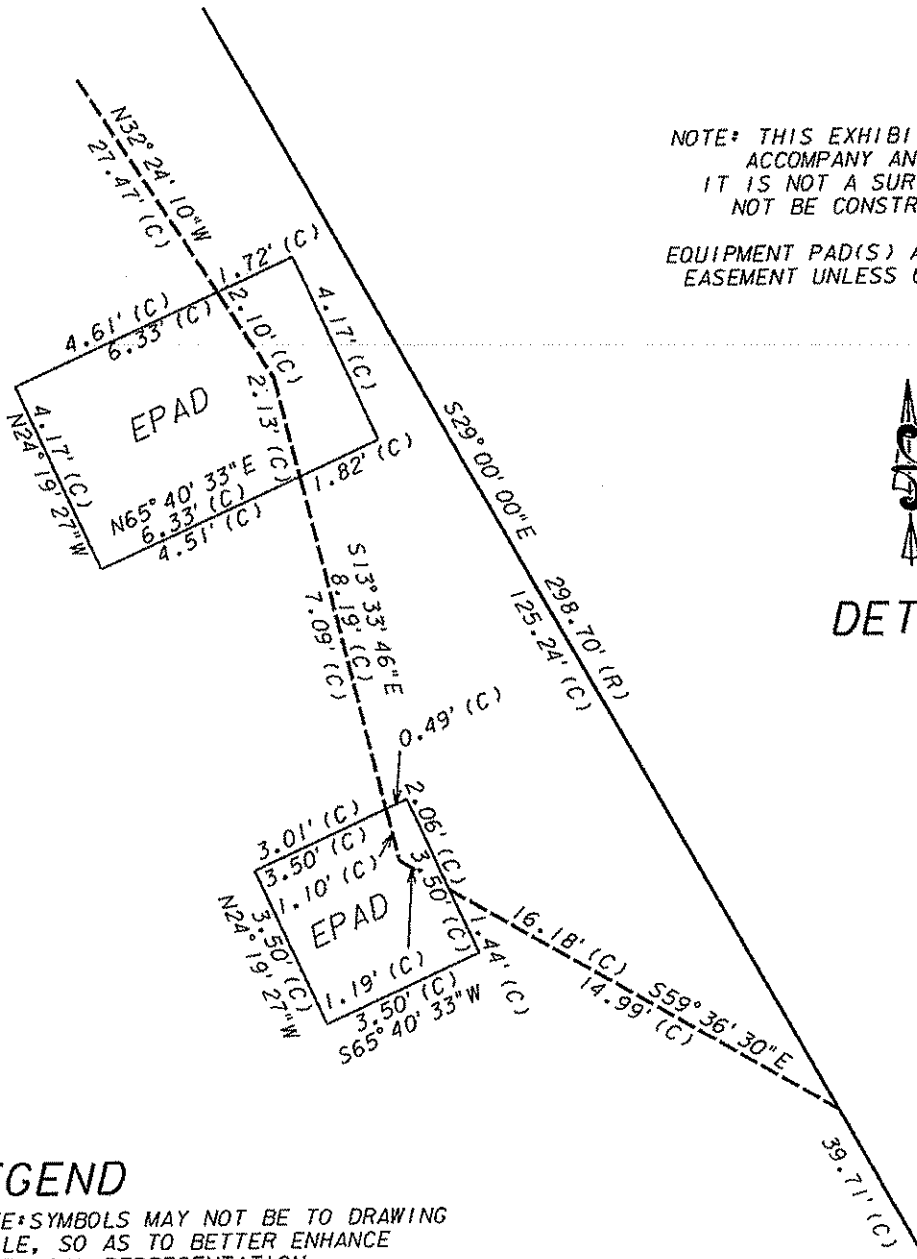
TEMPE MARKET PLACE  
23.9 EAST - 3.7 NORTH  
NW1/4, SEC 13, T1N, R4E  
UNDERGROUND ELECTRIC  
POWER LINE RIGHT-OF-WAY

DESIGNED	SCHULTZ	AGENT	MCGUIRE
DRAWN	MARTIN	APPROVED:	
DATE	02-27-08.		
SCALE	N.T.S.	SHEET	10 OF 12

# "EXHIBIT A"

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DETAIL

## LEGEND

NOTE: SYMBOLS MAY NOT BE TO DRAWING SCALE, SO AS TO BETTER ENHANCE GRAPHICAL REPRESENTATION

- PROPERTY LINE
- CENTERLINE OF 8' EASEMENT

## CAUTION

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SRP JOB  
KJB-3073

SALT RIVER PROJECT A.I.  
& POWER DISTRICT

TEMPE MARKET PLACE  
23.9 EAST - 3.7 NORTH  
NW1/4, SEC 13, T1N, R4E  
UNDERGROUND ELECTRIC  
POWER LINE RIGHT-OF-WAY

DESIGNED	SCHULTZ	AGENT	MCGUIRE
DRAWN	MARTIN	APPROVED:	
DATE	02-27-08		
SCALE	N.T.S.	SHEET	11 OF 12

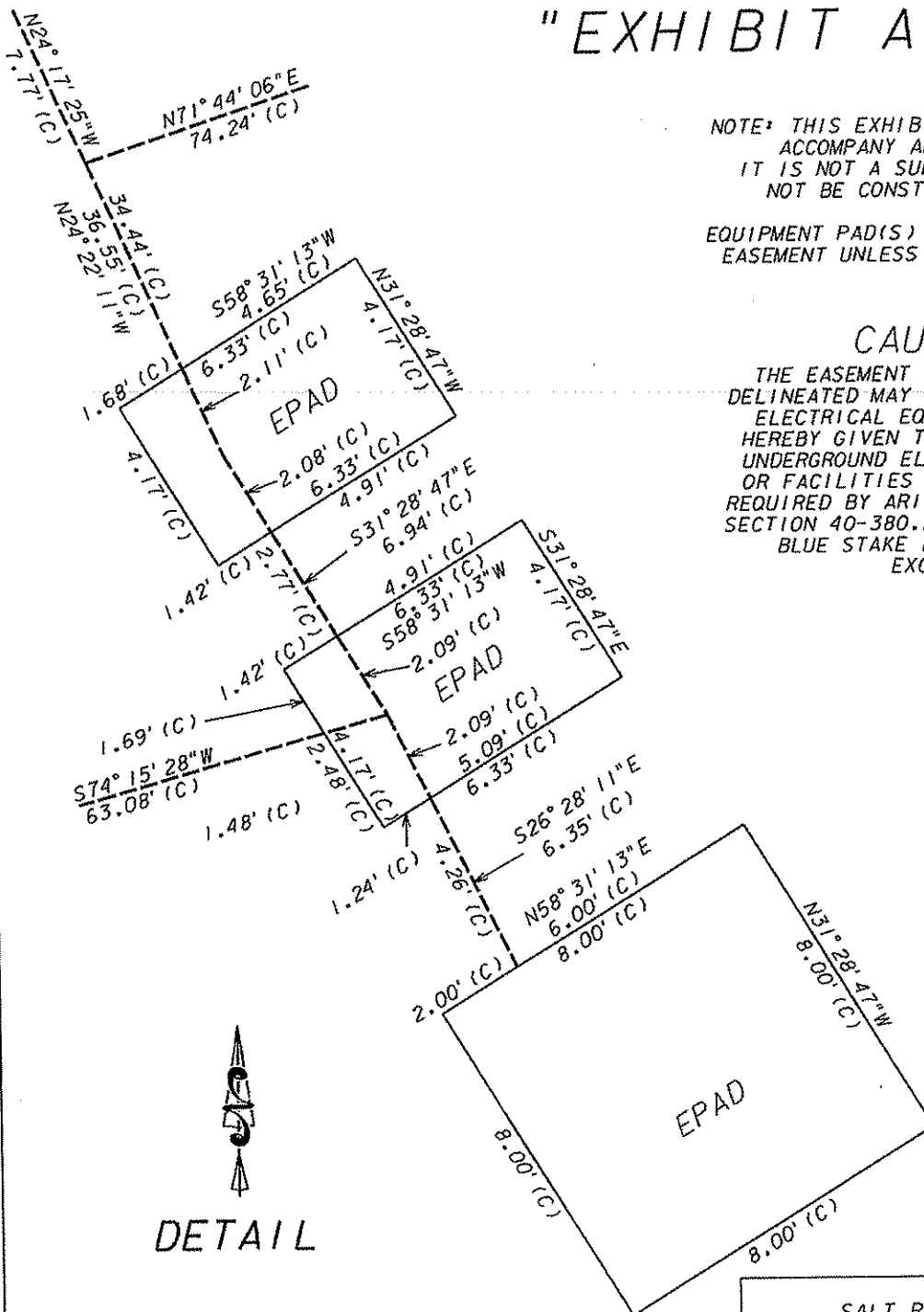
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DETAIL

## LEGEND

NOTE: SYMBOLS MAY NOT BE TO DRAWING SCALE, SO AS TO BETTER ENHANCE GRAPHICAL REPRESENTATION

————— PROPERTY LINE  
 - - - - - CENTERLINE OF 8' EASEMENT

SRP JOB  
 KJB-3073

SALT RIVER PROJECT A.I.  
 & POWER DISTRICT

TEMPE MARKET PLACE  
 23.9 EAST - 3.7 NORTH  
 NW1/4, SEC 13, T1N, R4E  
 UNDERGROUND ELECTRIC  
 POWER LINE RIGHT-OF-WAY

DESIGNED	SCHULTZ	AGENT	MCGUIRE
DRAWN	MARTIN	APPROVED:	
DATE	02-27-08		
SCALE	N.T.S.	SHEET	12 OF 12



**WHEN RECORDED MAIL TO:**

**SALT RIVER PROJECT**

Land Department/PAB350

P. O. Box 52025

Phoenix, Arizona 85072-2025

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**POWER DISTRIBUTION EASEMENT**

---

Maricopa County

Parcel # MCR 969/20

(Lots 2, 3, 4, 5, 11, 12, 17, 20, 21, 23 & 24)

NW & NE ¼ 13, T.1 N.-R.4 E

R/W#921A & B Agt. MJM

Job #KJB-03073 (pt 2 of 4)

W *MJM* C *RJR*

**CITY OF TEMPE,**  
**an Arizona municipal corporation,**

hereinafter called Grantor, for and in consideration of the sum of One Dollar, and other valuable consideration, receipt of which is hereby acknowledged, does hereby grant and convey to **SALT RIVER PROJECT AGRICULTURAL IMPROVEMENT AND POWER DISTRICT**, an agricultural improvement district organized and existing under the laws of the State of Arizona, its agents, employees, contractors and permittees and its and their respective successors and assigns, hereinafter called the Grantee, a non-exclusive easement in, upon, over, under, across, through and along the lands hereinafter described (such lands hereinafter described being sometimes referred to herein as the "Easement Parcel") to construct, install, reconstruct, replace, remove, repair, operate and maintain underground electrical conductors, conduits, pipes, cables, vaults, pads, switching equipment, enclosures, manholes and transformers and all other appliances, appurtenances and fixtures (collectively "Facilities") for the transmission and distribution of electricity and for all other purposes connected therewith at such locations and elevations, in, upon, over, under, across, through and along the Easement Parcel as Grantee may now or hereafter deem convenient or necessary from time to time, together with the right of ingress and egress to, from, across and along the Grantor's Property. Grantee is hereby authorized to permit others to use the Easement Parcel for additional Facilities jointly with or separately from the Grantee for their purposes.

The lands in, upon, over, under, across, through and along which this easement is granted are situated in the County of Maricopa, State of Arizona, and are more particularly described as:

**Grantor's Property:**

Lots 2, 3, 4, 5, 11, 12, 17, 20, 21, 23 & 24, TEMPE MARKETPLACE AMENDED, recorded in Book 969 of Maps, page 20, records of Maricopa County, Arizona, being previously recorded as the same Lot numbers, in the plat of TEMPE MARKETPLACE, recorded in Book 844 of Maps, page 44, records of Maricopa County, Arizona.

**EASEMENT PARCEL #1:**

Said easement being 8.00 feet in width, lying 4.00 feet on each side of the centerline (centerline of 8.00 foot easement) as delineated/depicted on the attached EXHIBIT "A", for each Lot, including equipment pad areas, as prepared by SRP Surveys Department, dated February 27, 2008, and by reference made a part hereof.

EXCEPT any part thereof lying outside of each of said Grantor's respective Lots.

The sidelines of said easement to terminate on all lines of each of said Grantor's respective Lots.

**REMAINDER OF THIS PAGE INTENTIONALLY LEFT BLANK**

**CAUTION:** Facilities placed within the Easement Parcel may contain high voltage electrical equipment. Notice is hereby given that the location of underground electrical conductors or facilities must be verified as required by Arizona Revised Statutes, Section 40-360.21, et seq., Arizona Blue Stake Law, prior to any excavation.

Grantor shall maintain a clear area that extends 3.00 feet from and around all edges of all transformer pads and other equipment pads, and a clear operational area that extends 12.00 feet immediately in front of all transformer and other equipment openings. No obstruction, trees, shrubs, fixtures or permanent structures shall be placed within said areas.

Grantor shall not construct, install or place, or permit to be constructed, installed or placed any building or other structure, plant any trees, drill any well, store materials of any kind, or alter ground level by cut or fill, within the area of the Easement Parcel.

Grantee shall have the right (but not the obligation) to trim, cut and clear away trees, brush or other vegetation on the Easement Parcel whenever in its judgment the same shall be necessary for the convenient and safe exercise of the rights herein granted.

In the event Grantee records a document to formally abandon the easement granted herein, all Grantee's rights hereunder shall cease, except the right to remove any and all property placed upon the Easement Parcel within a reasonable time subsequent to such abandonment.

The covenants and agreements herein set forth shall extend and inure in favor and to the benefit of and shall be binding on the heirs, administrators, executors, personal representatives, legal representatives, successors (including successors in ownership and estate), assigns and lessees of the Grantor and Grantee.

The individual executing this document represents and warrants: (i) that he or she is authorized to do so on behalf of Grantor; (ii) that he or she has full legal power and authority to bind Grantor in accordance with the terms herein and, if necessary, has obtained all required consents or delegations of such power and authority (whether from any partner, owner, spouse, shareholder, director, member, manager, creditor, investor, developer, governmental authority, judicial or administrative body, association, or other person or entity); and (iii) that the execution, delivery, and performance by Grantor of this document and all others relating to the easement will not constitute a default under any agreement to which Grantor is a party. The individual executing this document shall indemnify, defend and hold harmless Grantee for, from and against any and all losses, costs, expenses, liabilities, claims, demands, and actions of any kind or nature, including court costs and attorneys' fees, arising or accruing as a result of the falsity of any of his or her representations and warranties contained in this document.

Its \_\_\_\_\_

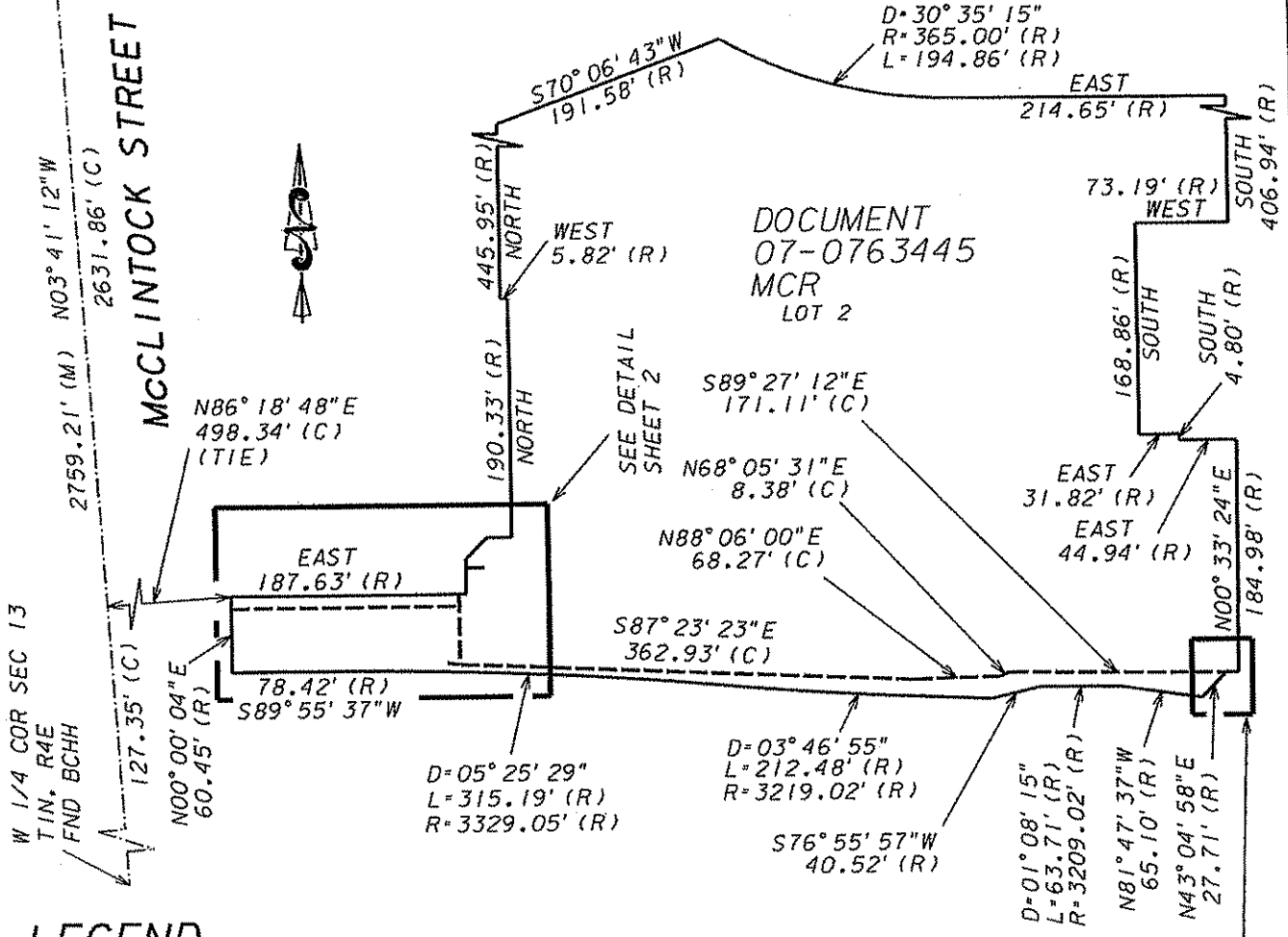
Cimage/KJB-03073-2/City of Tempe PDE/kmf/042508

NW COR SEC 13  
T1N, R4E  
FND BCHH

# "EXHIBIT A"

NOTE: THIS EXHIBIT IS INTENDED TO  
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## LEGEND

NOTE: SYMBOLS MAY NOT BE TO DRAWING SCALE,  
SO AS TO BETTER ENHANCE GRAPHICAL REPRESENTATION

- SECTION AND CENTERLINE
- PROPERTY LINE
- CENTERLINE OF 8' EASEMENT
- EQUIPMENT PAD

## CAUTION

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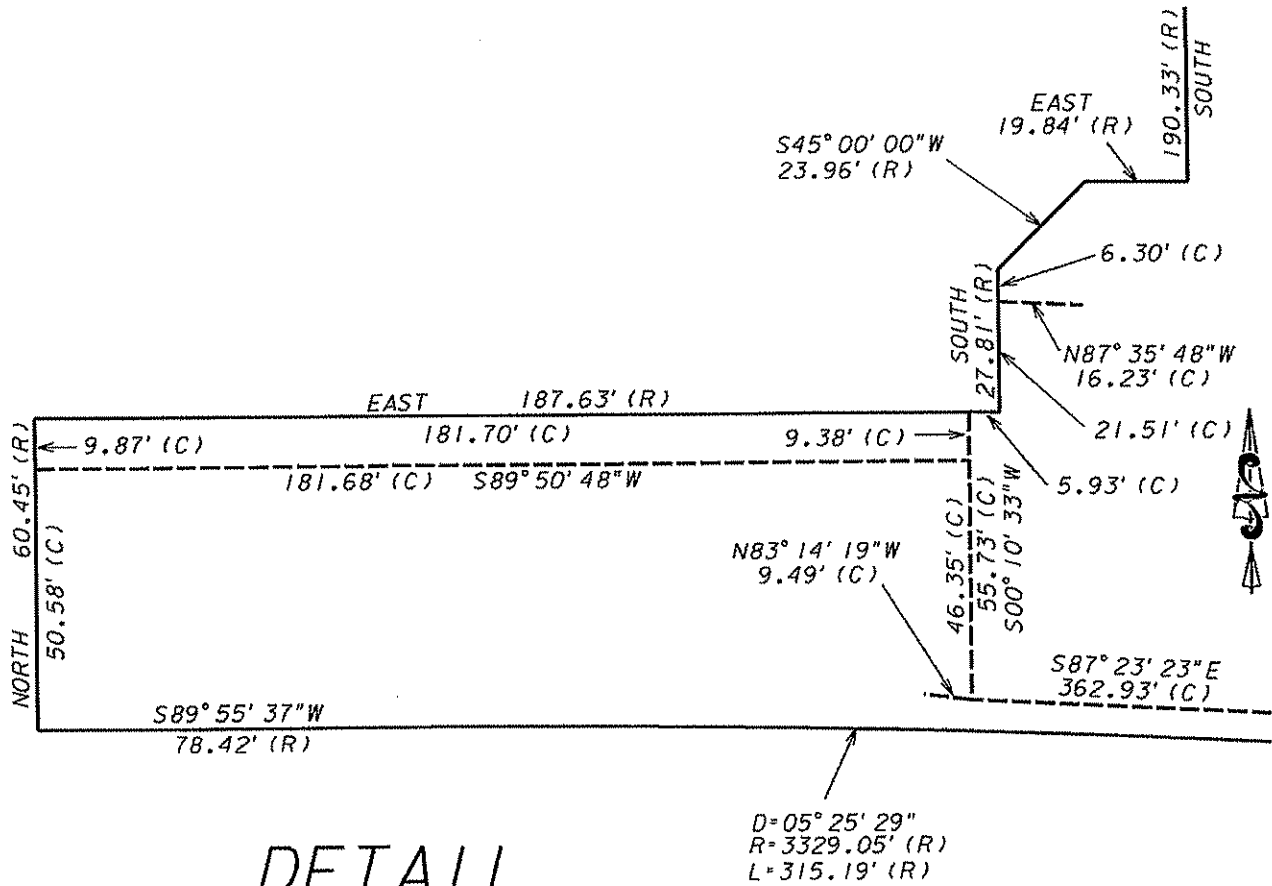
SRP JOB  
KJB-3073

SALT RIVER PROJECT A.I.  
& POWER DISTRICT

TEMPE MARKET PLACE  
23.9 EAST - 3.7 NORTH  
NW1/4, SEC 13, T1N, R4E  
UNDERGROUND ELECTRIC  
POWER LINE RIGHT-OF-WAY

DESIGNED	SCHULTZ	AGENT	MCGUIRE
DRAWN	MARTIN	APPROVED:	
DATE	02-27-08		
SCALE	N.T.S.	SHEET	1 OF 3

# "EXHIBIT A"



## DETAIL

### LEGEND

NOTE: SYMBOLS MAY NOT BE TO DRAWING SCALE,  
SO AS TO BETTER ENHANCE GRAPHICAL  
REPRESENTATION

————— PROPERTY LINE  
----- CENTERLINE OF 8' EASEMENT

### CAUTION

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SRP JOB  
KJB-3073

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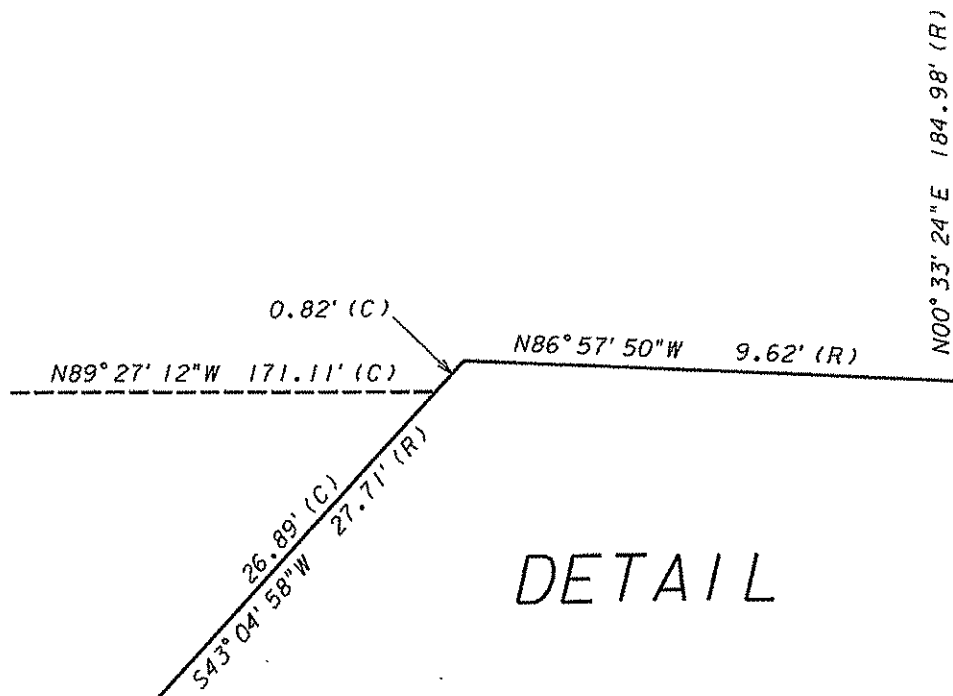
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SALT RIVER PROJECT A.I.  
& POWER DISTRICT

TEMPE MARKET PLACE  
23.9 EAST - 3.7 NORTH  
NW1/4, SEC 13, T1N, R4E  
UNDERGROUND ELECTRIC  
POWER LINE RIGHT-OF-WAY

DESIGNED	SCHULTZ	AGENT	MCGUIRE
DRAWN	MARTIN	APPROVED:	
DATE	02-27-08		
SCALE	N.T.S.	SHEET	2 OF 3

# "EXHIBIT A"



DETAIL

## LEGEND

NOTE: SYMBOLS MAY NOT BE TO DRAWING SCALE,  
SO AS TO BETTER ENHANCE GRAPHICAL  
REPRESENTATION

----- CENTERLINE OF 8' EASEMENT  
————— PROPERTY LINE

## CAUTION

THE EASEMENT LOCATION AS HEREON  
DELINEATED MAY CONTAIN HIGH VOLTAGE  
ELECTRICAL EQUIPMENT, NOTICE IS  
HEREBY GIVEN THAT THE LOCATION OF  
UNDERGROUND ELECTRICAL CONDUCTORS  
OR FACILITIES MUST BE VERIFIED AS  
REQUIRED BY ARIZONA REVISED STATUTES,  
SECTION 40-380.21, ET. SEQ., ARIZONA  
BLUE STAKE LAW, PRIOR TO ANY  
EXCAVATION.

SRP JOB  
KJB-3073

NOTE: THIS EXHIBIT IS INTENDED TO  
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IT IS NOT A SURVEY AND SHOULD  
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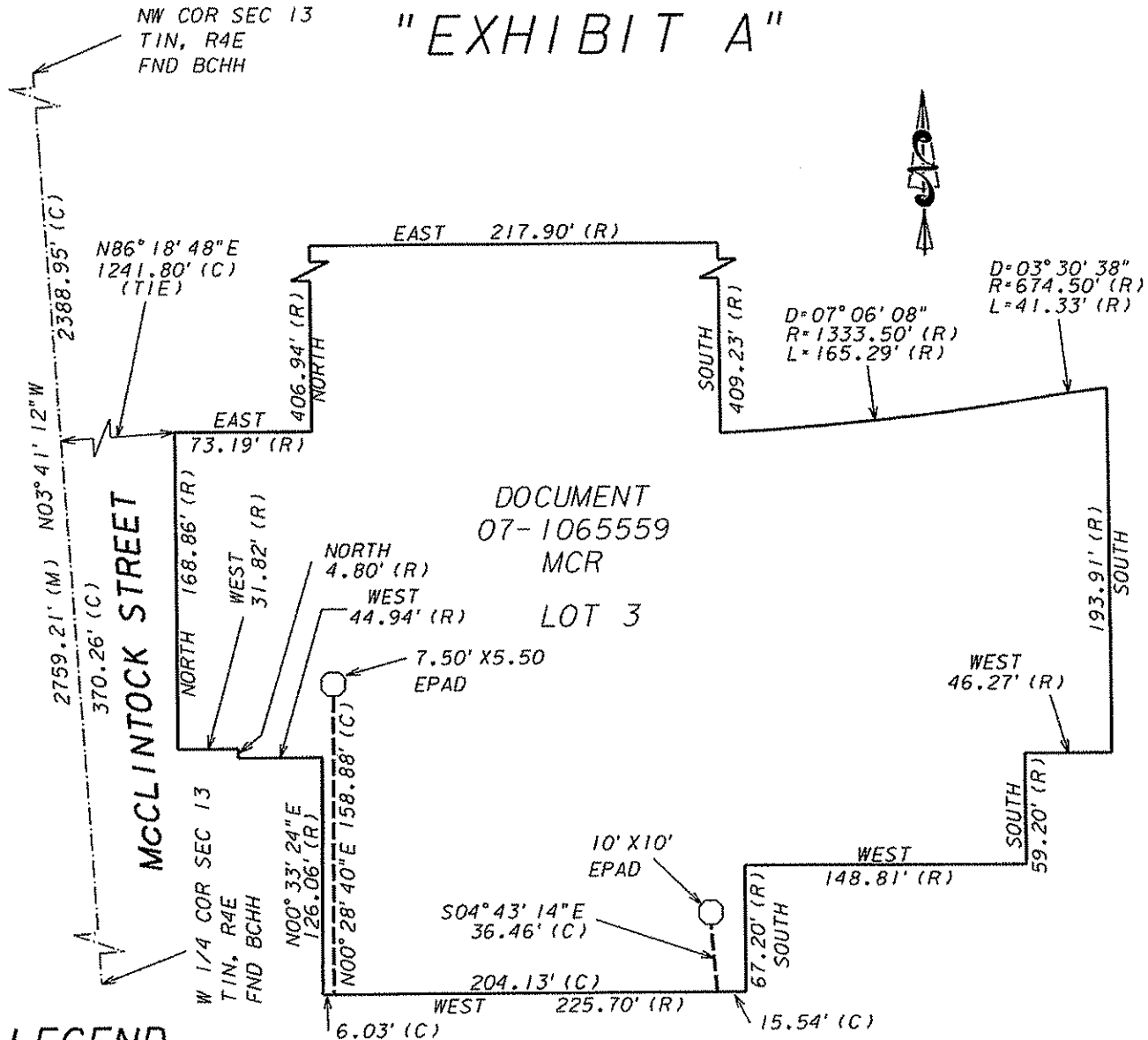
EQUIPMENT PAD(S) ARE A PART OF THE  
EASEMENT UNLESS OTHERWISE NOTED.

SALT RIVER PROJECT A.I.  
& POWER DISTRICT

TEMPE MARKET PLACE  
23.9 EAST - 3.7 NORTH  
NW1/4, SEC 13, T1N, R4E  
UNDERGROUND ELECTRIC  
POWER LINE RIGHT-OF-WAY

DESIGNED	SCHULTZ	AGENT	MCGUIRE
DRAWN	MARTIN	APPROVED:	
DATE	02-27-08		
SCALE	N.T.S.	SHEET	3 OF 3

# "EXHIBIT A"



## LEGEND

NOTE: SYMBOLS MAY NOT BE TO DRAWING SCALE,  
SO AS TO BETTER ENHANCE GRAPHICAL REPRESENTATION

- SECTION AND CENTERLINE
- ===== PROPERTY LINE
- CENTERLINE OF 8' EASEMENT
- EQUIPMENT PAD

## CAUTION

THE EASEMENT LOCATION AS HEREON  
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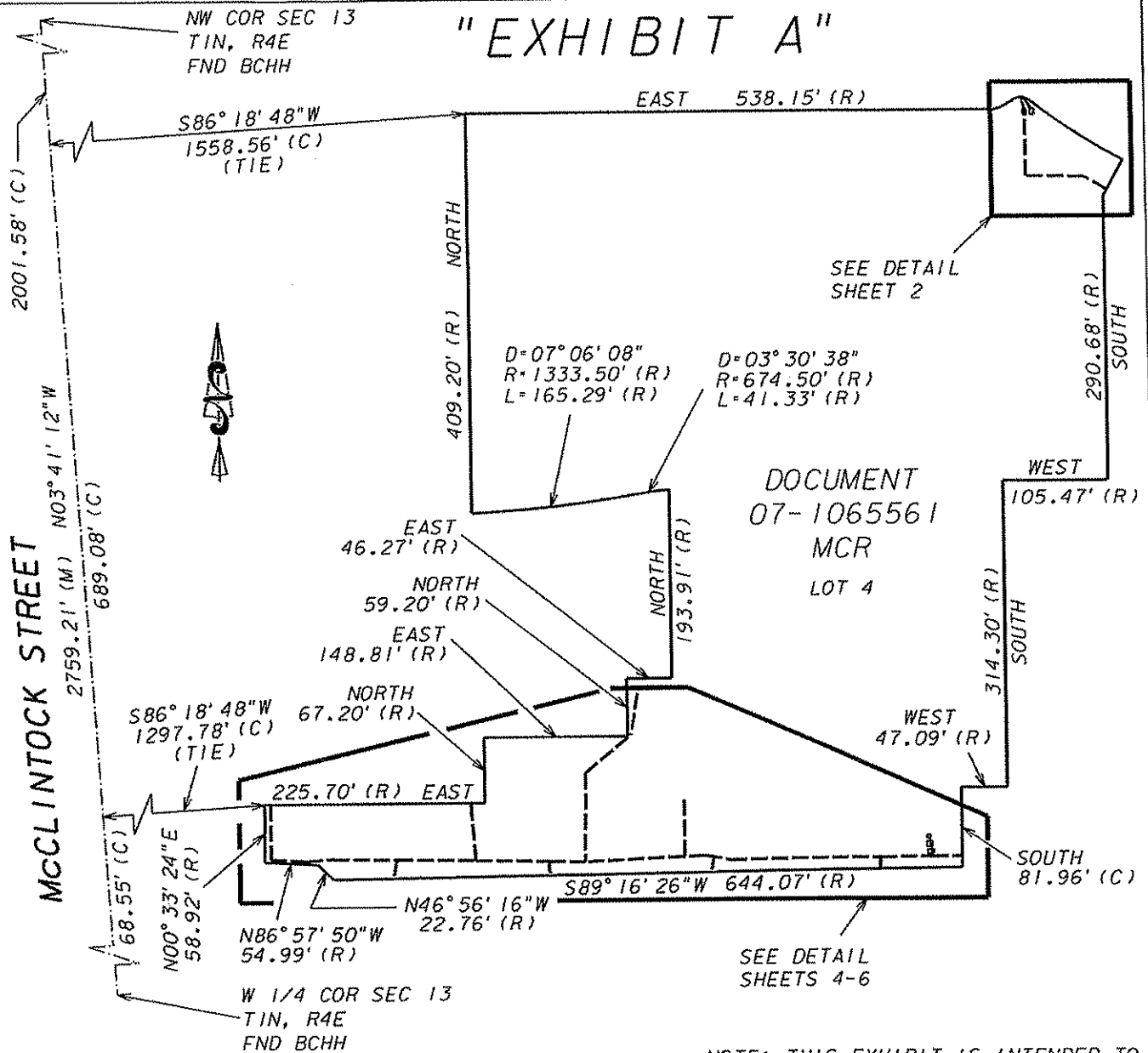
SALT RIVER PROJECT A.I.  
& POWER DISTRICT

TEMPE MARKET PLACE  
23.9 EAST - 3.7 NORTH  
NW 1/4, SEC 13, T1N, R4E  
UNDERGROUND ELECTRIC  
POWER LINE RIGHT-OF-WAY

DESIGNED	SCHULTZ	AGENT	MCGUIRE
DRAWN	MARTIN	APPROVED:	
DATE	02-27-08		
SCALE	N.T.S.	SHEET	1 OF 1



# "EXHIBIT A"



## LEGEND

NOTE: SYMBOLS MAY NOT BE TO DRAWING SCALE, SO AS TO BETTER ENHANCE GRAPHICAL REPRESENTATION

- SECTION AND CENTERLINE
- ===== PROPERTY LINE
- CENTERLINE OF 8' EASEMENT

## CAUTION

THE EASEMENT LOCATION AS HEREON DELINEATED MAY CONTAIN HIGH VOLTAGE ELECTRICAL EQUIPMENT, NOTICE IS HEREBY GIVEN THAT THE LOCATION OF UNDERGROUND ELECTRICAL CONDUCTORS OR FACILITIES MUST BE VERIFIED AS REQUIRED BY ARIZONA REVISED STATUTES, SECTION 40-380.21, ET. SEQ., ARIZONA BLUE STAKE LAW, PRIOR TO ANY EXCAVATION.

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SALT RIVER PROJECT A.I.  
& POWER DISTRICT

TEMPE MARKET PLACE  
23.9 EAST - 3.7 NORTH  
NW1/4, SEC 13, TIN, R4E  
UNDERGROUND ELECTRIC  
POWER LINE RIGHT-OF-WAY

DESIGNED	SCHULTZ	AGENT	MCGUIRE
DRAWN	MARTIN	APPROVED:	
DATE	02-28-08		
SCALE	N.T.S.	SHEET	1 OF 7

**"EXHIBIT A"**

**DETAIL**

**LEGEND**

NOTE: SYMBOLS MAY NOT BE TO DRAWING SCALE, SO AS TO BETTER ENHANCE GRAPHICAL REPRESENTATION

----- CENTERLINE OF 8' EASEMENT  
 \_\_\_\_\_ PROPERTY LINE

**CAUTION**

THE EASEMENT LOCATION AS HEREON DELINEATED MAY CONTAIN HIGH VOLTAGE ELECTRICAL EQUIPMENT, NOTICE IS HEREBY GIVEN THAT THE LOCATION OF UNDERGROUND ELECTRICAL CONDUCTORS OR FACILITIES MUST BE VERIFIED AS REQUIRED BY ARIZONA REVISED STATUTES, SECTION 40-380.21, ET. SEQ., ARIZONA BLUE STAKE LAW, PRIOR TO ANY EXCAVATION.

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**SALT RIVER PROJECT A.I. & POWER DISTRICT**

**TEMPE MARKET PLACE**  
 23.9 EAST - 3.7 NORTH  
 NW1/4, SEC 13, T1N, R4E  
 UNDERGROUND ELECTRIC  
 POWER LINE RIGHT-OF-WAY

DESIGNED SCHULTZ AGENT MCGUIRE  
 DRAWN MARTIN APPROVED: \_\_\_\_\_  
 DATE 02-27-08  
 SCALE N.T.S. SHEET 2 OF 7

NOTE: SYMBOLS MAY NOT BE TO DRAWING SCALE,  
SO AS TO BETTER ENHANCE GRAPHICAL  
REPRESENTATION

----- CENTERLINE OF 8' EASEMENT  
----- PROPERTY LINE

THE EASEMENT LOCATION AS HEREON  
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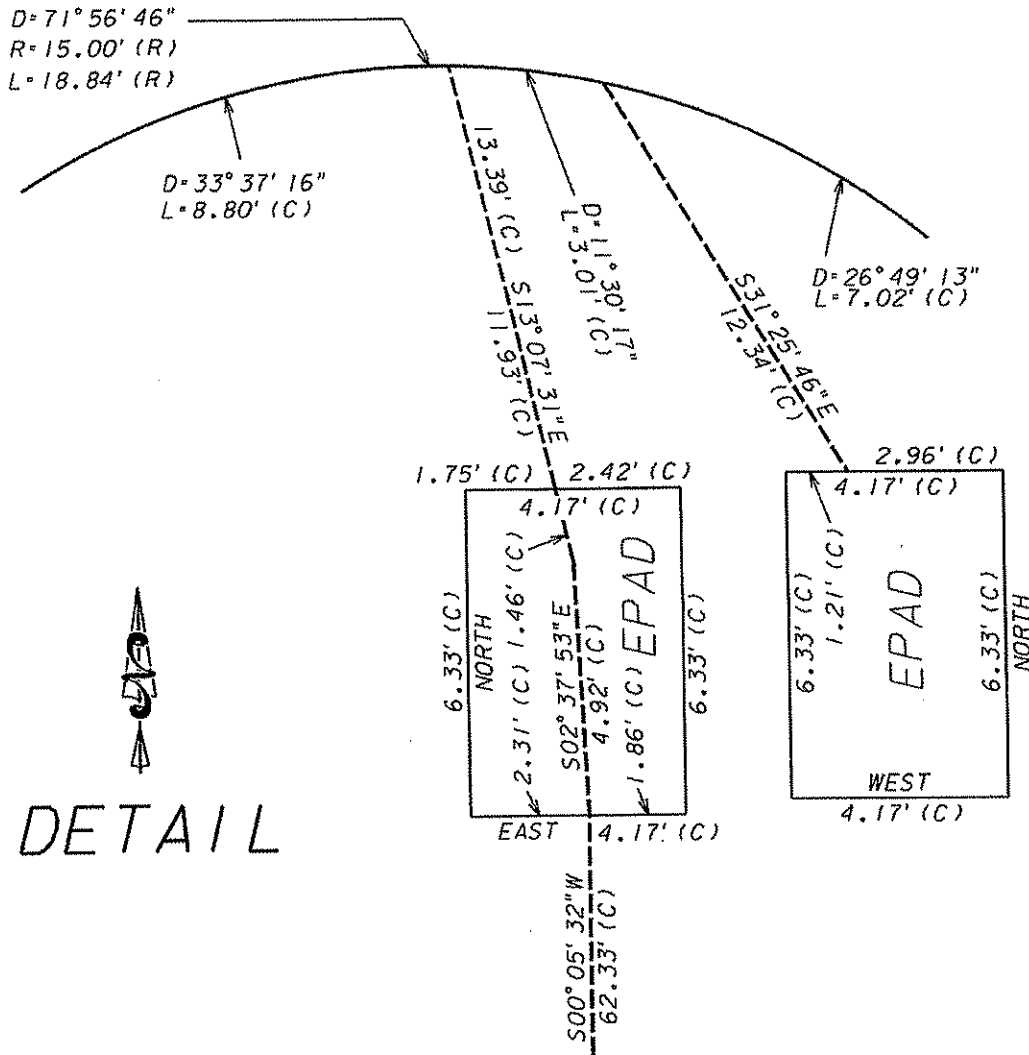
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SALT RIVER PROJECT A.I.  
& POWER DISTRICT

TEMPE MARKET PLACE  
23.9 EAST - 3.7 NORTH  
NW1/4, SEC 13, T1N, R4E  
UNDERGROUND ELECTRIC  
POWER LINE RIGHT-OF-WAY

DESIGNED SCHULTZ AGENT MCGUIRE  
DRAWN MARTIN APPROVED: \_\_\_\_\_  
DATE 02-27-08  
SCALE N.T.S. SHEET 2 OF 7

# "EXHIBIT A"



DETAIL

## LEGEND

NOTE: SYMBOLS MAY NOT BE TO DRAWING SCALE, SO AS TO BETTER ENHANCE GRAPHICAL REPRESENTATION

----- CENTERLINE OF 8' EASEMENT  
 \_\_\_\_\_ PROPERTY LINE

## CAUTION

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SRP JOB  
KJB-3073

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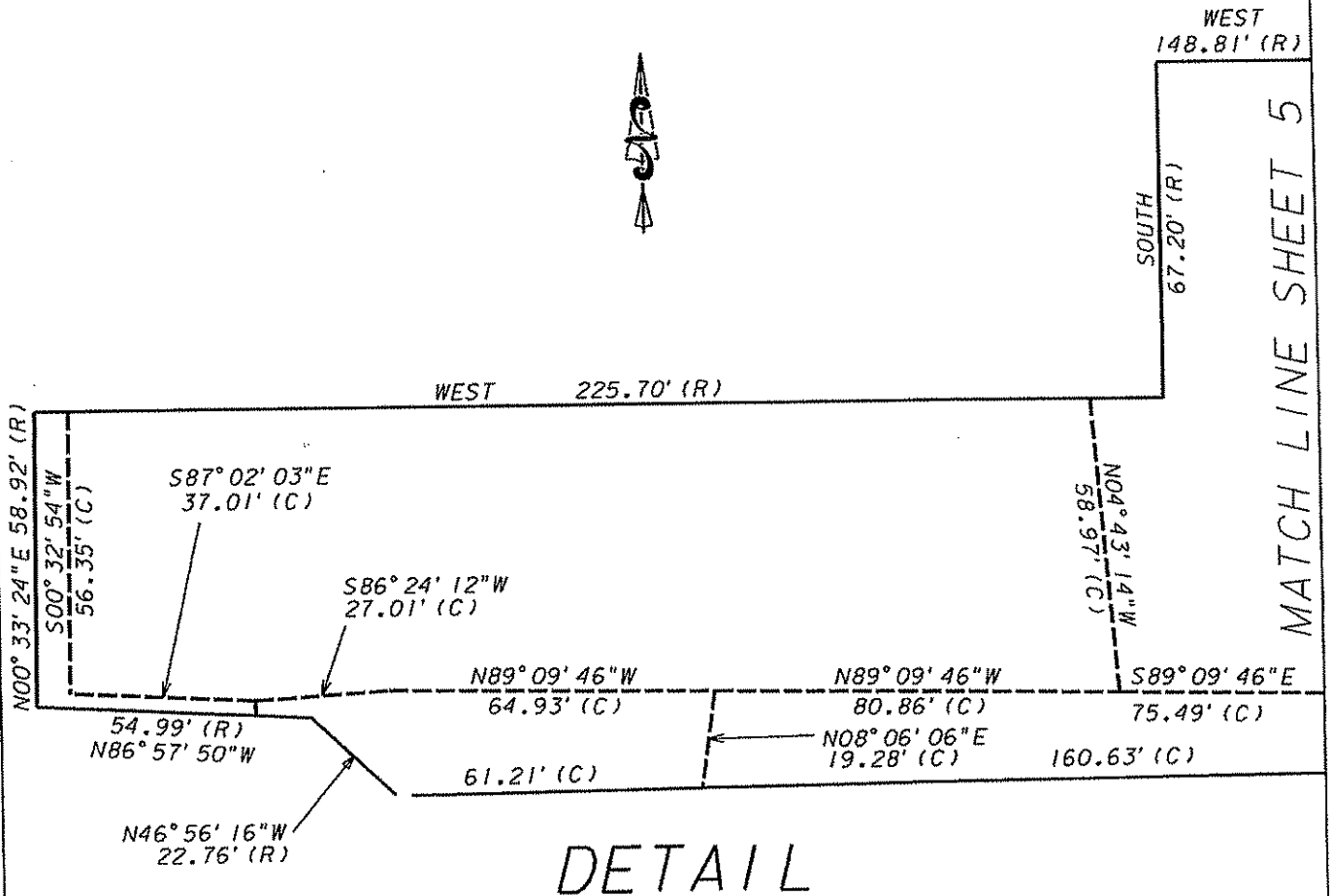
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SALT RIVER PROJECT A.I.  
& POWER DISTRICT

TEMPE MARKET PLACE  
23.9 EAST - 3.7 NORTH  
NW1/4, SEC 13, T1N, R4E  
UNDERGROUND ELECTRIC  
POWER LINE RIGHT-OF-WAY

DESIGNED	SCHULTZ	AGENT	MCGUIRE
DRAWN	MARTIN	APPROVED:	
DATE	02-27-08		
SCALE	N.T.S.	SHEET	3 OF 7

# "EXHIBIT A"



## DETAIL

### LEGEND

NOTE: SYMBOLS MAY NOT BE TO DRAWING SCALE, SO AS TO BETTER ENHANCE GRAPHICAL REPRESENTATION

- PROPERTY LINE
- CENTERLINE OF 8' EASEMENT

### CAUTION

THE EASEMENT LOCATION AS HEREON DELINEATED MAY CONTAIN HIGH VOLTAGE ELECTRICAL EQUIPMENT, NOTICE IS HEREBY GIVEN THAT THE LOCATION OF UNDERGROUND ELECTRICAL CONDUCTORS OR FACILITIES MUST BE VERIFIED AS REQUIRED BY ARIZONA REVISED STATUTES, SECTION 40-380.21, ET. SEQ., ARIZONA BLUE STAKE LAW, PRIOR TO ANY EXCAVATION.

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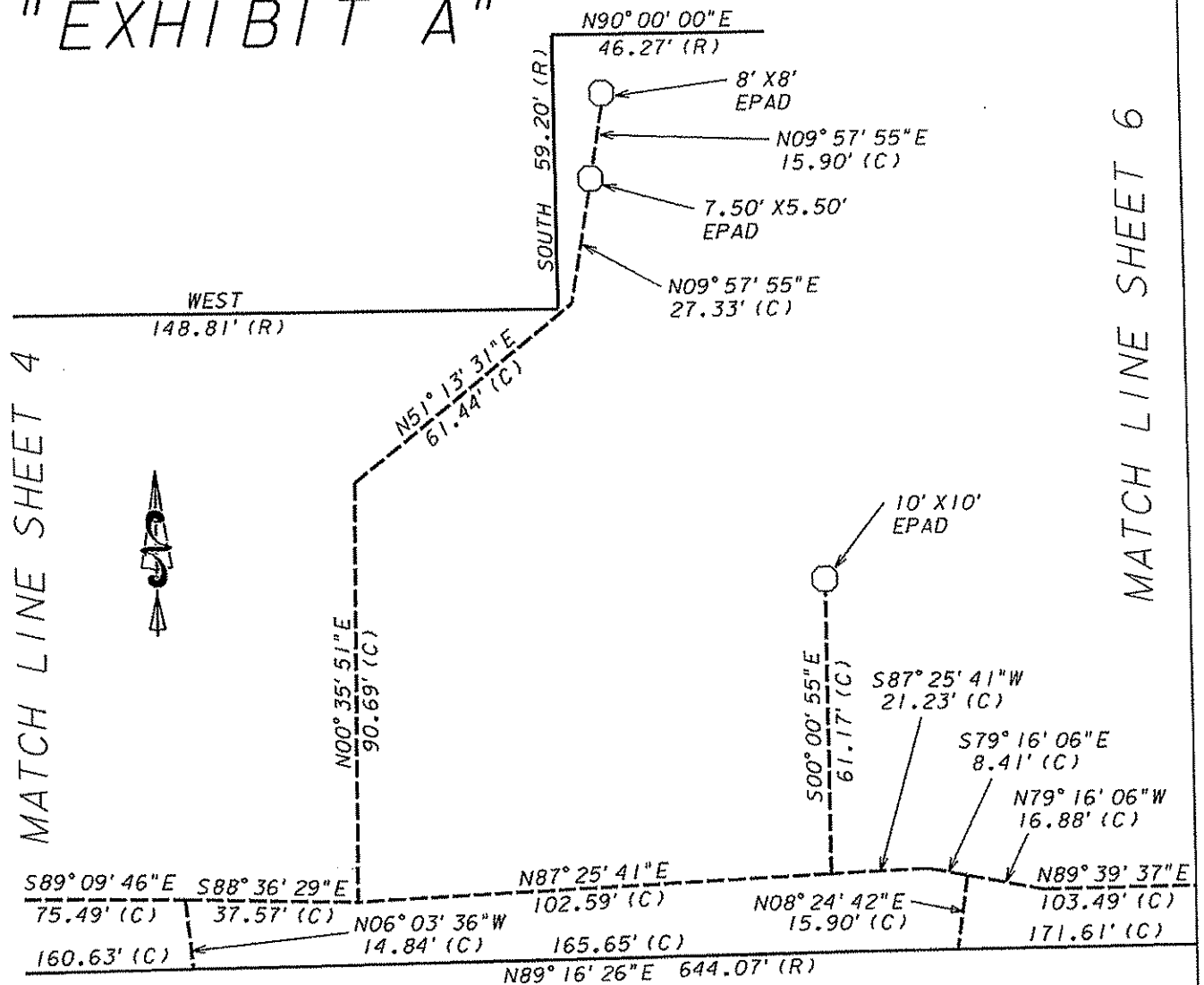
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SALT RIVER PROJECT A.I.  
& POWER DISTRICT

TEMPE MARKET PLACE  
23.9 EAST - 3.7 NORTH  
NW1/4, SEC 13, T1N, R4E  
UNDERGROUND ELECTRIC  
POWER LINE RIGHT-OF-WAY

DESIGNED	SCHULTZ	AGENT	MCGUIRE
DRAWN	MARTIN	APPROVED:	
DATE	02-27-08		
SCALE	N.T.S.	SHEET	4 OF 7

# "EXHIBIT A"



## DETAIL

### LEGEND

NOTE: SYMBOLS MAY NOT BE TO DRAWING SCALE, SO AS TO BETTER ENHANCE GRAPHICAL REPRESENTATION

- PROPERTY LINE
- CENTERLINE OF 8' EASEMENT

### CAUTION

THE EASEMENT LOCATION AS HEREON DELINEATED MAY CONTAIN HIGH VOLTAGE ELECTRICAL EQUIPMENT, NOTICE IS HEREBY GIVEN THAT THE LOCATION OF UNDERGROUND ELECTRICAL CONDUCTORS OR FACILITIES MUST BE VERIFIED AS REQUIRED BY ARIZONA REVISED STATUTES, SECTION 40-380.21, ET. SEQ., ARIZONA BLUE STAKE LAW, PRIOR TO ANY EXCAVATION.

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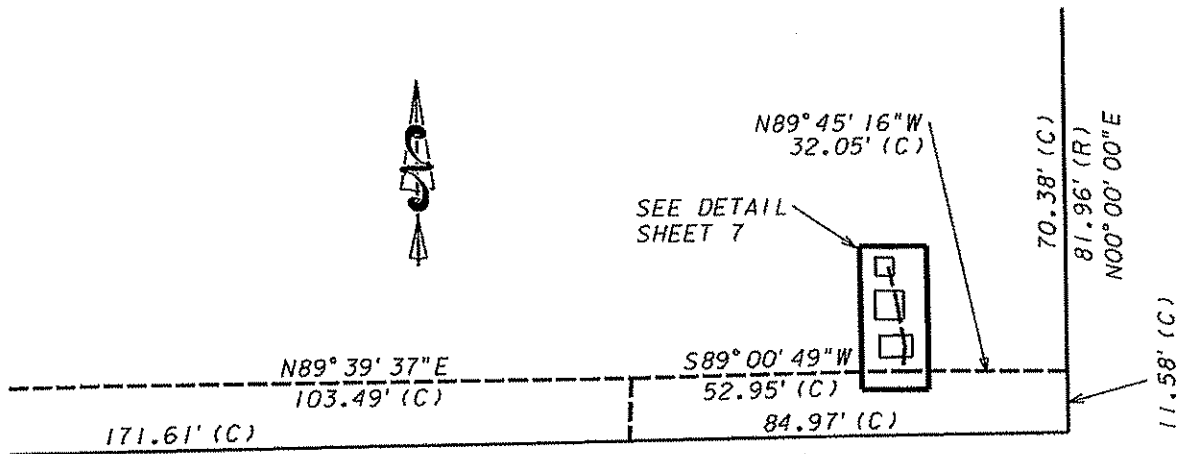
SALT RIVER PROJECT A.I.  
& POWER DISTRICT

TEMPE MARKET PLACE  
23.9 EAST - 3.7 NORTH  
NW1/4, SEC 13, T1N, R4E  
UNDERGROUND ELECTRIC  
POWER LINE RIGHT-OF-WAY

DESIGNED	SCHULTZ	AGENT	MCGUIRE
DRAWN	MARTIN	APPROVED:	
DATE	02-27-08		
SCALE	N.T.S.	SHEET	5 OF 7

# "EXHIBIT A"

MATCH LINE SHEET 4



## DETAIL

### LEGEND

NOTE: SYMBOLS MAY NOT BE TO DRAWING SCALE, SO AS TO BETTER ENHANCE GRAPHICAL REPRESENTATION

————— PROPERTY LINE  
 - - - - - CENTERLINE OF 8' EASEMENT

### CAUTION

THE EASEMENT LOCATION AS HEREON DELINEATED MAY CONTAIN HIGH VOLTAGE ELECTRICAL EQUIPMENT, NOTICE IS HEREBY GIVEN THAT THE LOCATION OF UNDERGROUND ELECTRICAL CONDUCTORS OR FACILITIES MUST BE VERIFIED AS REQUIRED BY ARIZONA REVISED STATUTES, SECTION 40-380.21, ET. SEQ., ARIZONA BLUE STAKE LAW, PRIOR TO ANY EXCAVATION.

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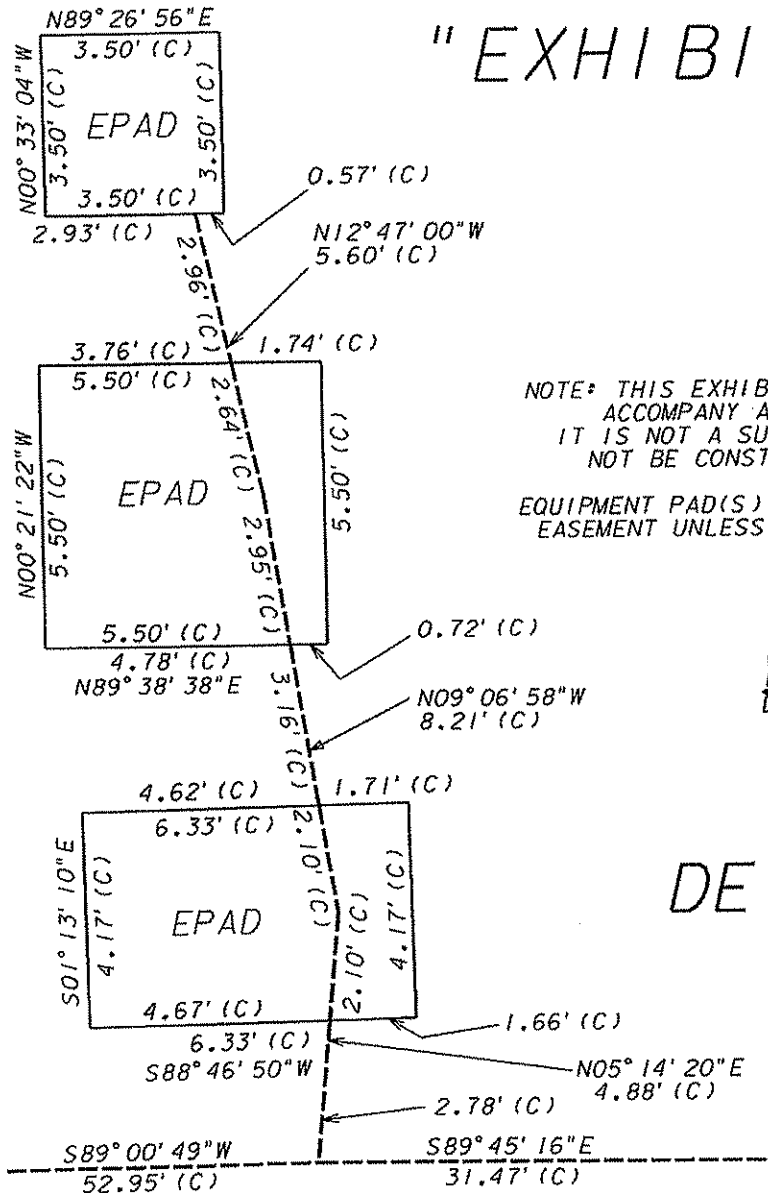
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SALT RIVER PROJECT A.I.  
& POWER DISTRICT

TEMPE MARKET PLACE  
23.9 EAST - 3.7 NORTH  
NW 1/4, SEC 13, T1N, R4E  
UNDERGROUND ELECTRIC  
POWER LINE RIGHT-OF-WAY

DESIGNED	SCHULTZ	AGENT	MCGUIRE
DRAWN	MARTIN	APPROVED:	
DATE	02-27-08		
SCALE	N.T.S.	SHEET	6 OF 7

# "EXHIBIT A"



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## DETAIL

### LEGEND

NOTE: SYMBOLS MAY NOT BE TO DRAWING SCALE, SO AS TO BETTER ENHANCE GRAPHICAL REPRESENTATION

----- CENTERLINE OF 8' EASEMENT

### CAUTION

THE EASEMENT LOCATION AS HEREON DELINEATED MAY CONTAIN HIGH VOLTAGE ELECTRICAL EQUIPMENT, NOTICE IS HEREBY GIVEN THAT THE LOCATION OF UNDERGROUND ELECTRICAL CONDUCTORS OR FACILITIES MUST BE VERIFIED AS REQUIRED BY ARIZONA REVISED STATUTES, SECTION 40-380.21, ET. SEQ., ARIZONA BLUE STAKE LAW, PRIOR TO ANY EXCAVATION.

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KJB-3073

SALT RIVER PROJECT A.I.  
& POWER DISTRICT

TEMPE MARKET PLACE  
23.9 EAST - 3.7 NORTH  
NW1/4, SEC 13, T1N, R4E  
UNDERGROUND ELECTRIC  
POWER LINE RIGHT-OF-WAY

DESIGNED	SCHULTZ	AGENT	MCGUIRE
DRAWN	MARTIN	APPROVED:	
DATE	02-27-08		
SCALE	N.T.S.	SHEET	7 OF 7

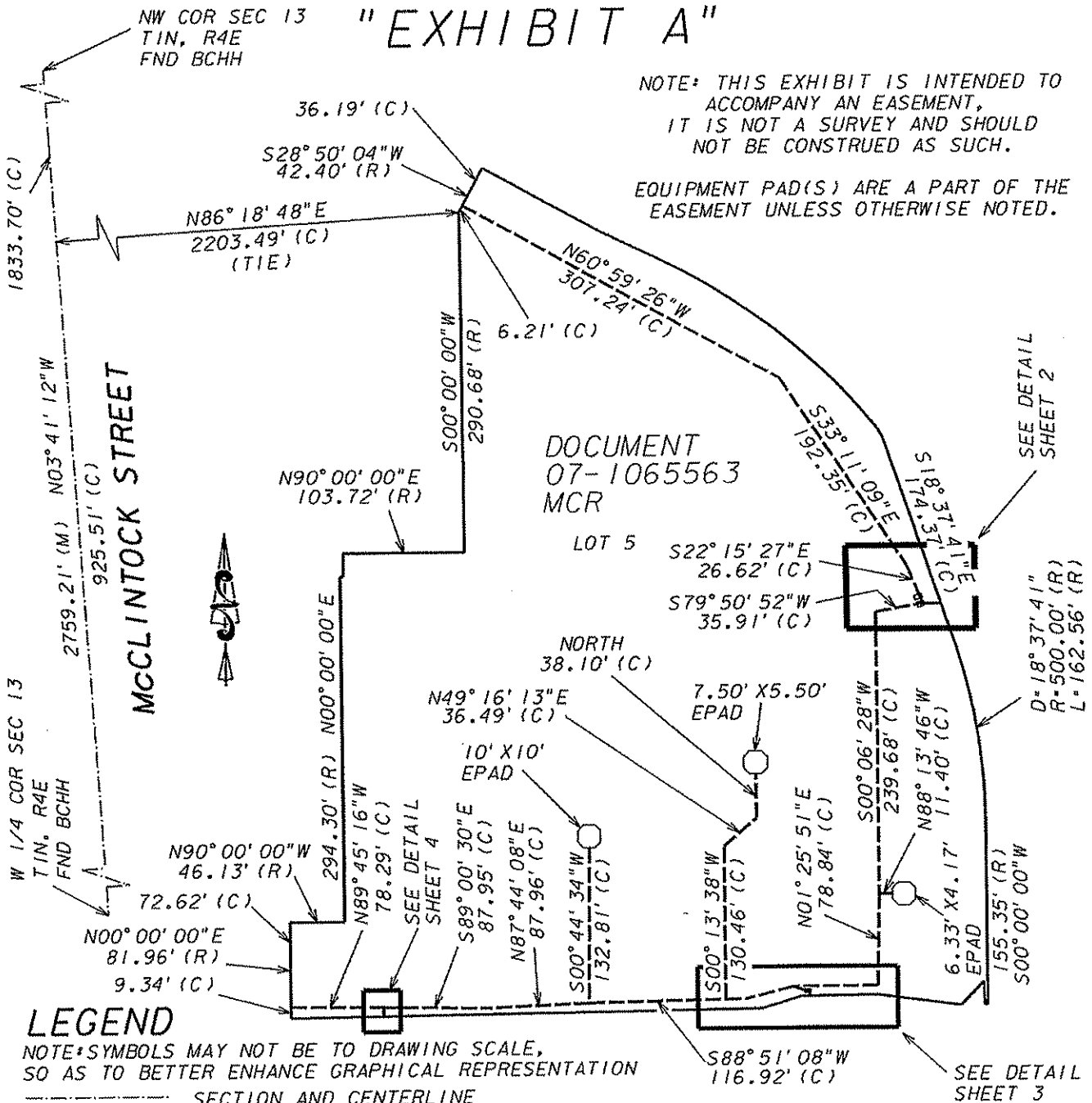
# "EXHIBIT A"

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DOCUMENT  
07-1065563  
MCR

LOT 5



## LEGEND

NOTE: SYMBOLS MAY NOT BE TO DRAWING SCALE, SO AS TO BETTER ENHANCE GRAPHICAL REPRESENTATION

- SECTION AND CENTERLINE
- PROPERTY LINE
- - - CENTERLINE OF 8' EASEMENT
- EQUIPMENT PAD

## CAUTION

THE EASEMENT LOCATION AS HEREON DELINEATED MAY CONTAIN HIGH VOLTAGE ELECTRICAL EQUIPMENT, NOTICE IS HEREBY GIVEN THAT THE LOCATION OF UNDERGROUND ELECTRICAL CONDUCTORS OR FACILITIES MUST BE VERIFIED AS REQUIRED BY ARIZONA REVISED STATUTES, SECTION 40-380.21, ET. SEQ., ARIZONA BLUE STAKE LAW, PRIOR TO ANY EXCAVATION.

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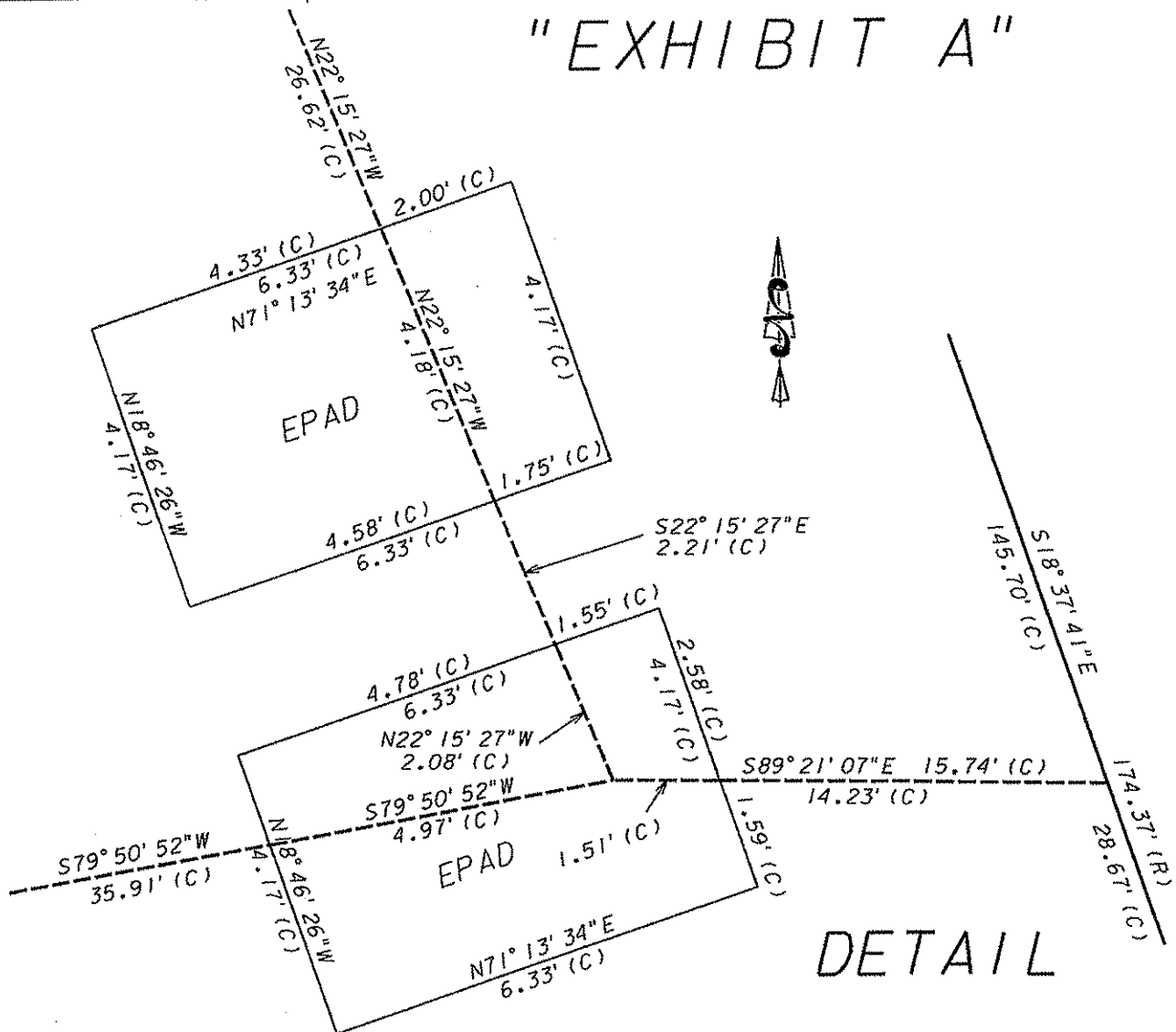
SALT RIVER PROJECT A.I.  
& POWER DISTRICT

TEMPE MARKET PLACE  
23.9 EAST - 3.7 NORTH  
NW1/4, SEC 13, TIN, R4E  
UNDERGROUND ELECTRIC  
POWER LINE RIGHT-OF-WAY

DESIGNED	SCHULTZ	AGENT	MCGUIRE
DRAWN	MARTIN	APPROVED	
DATE	02-27-08		
SCALE	N.T.S.	SHEET	1 OF 4



# "EXHIBIT A"



## LEGEND

NOTE: SYMBOLS MAY NOT BE TO DRAWING SCALE,  
SO AS TO BETTER ENHANCE GRAPHICAL  
REPRESENTATION

- CENTERLINE OF 8' EASEMENT  
————— PROPERTY LINE

## CAUTION

THE EASEMENT LOCATION AS HEREON  
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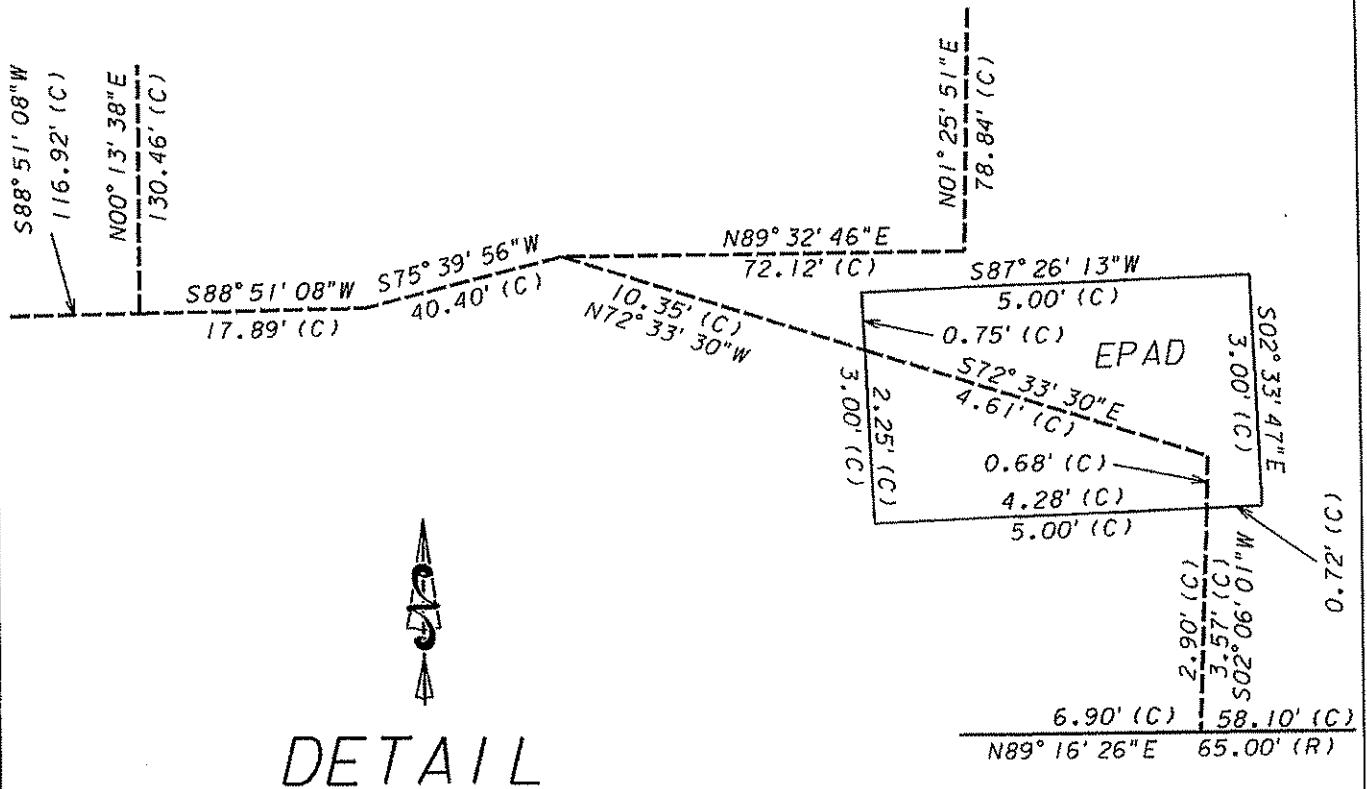
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SALT RIVER PROJECT A.I.  
& POWER DISTRICT

TEMPE MARKET PLACE  
23.9 EAST - 3.7 NORTH  
NW1/4, SEC 13, T1N, R4E  
UNDERGROUND ELECTRIC  
POWER LINE RIGHT-OF-WAY

DESIGNED	SCHULTZ	AGENT	MCGUIRE
DRAWN	MARTIN	APPROVED:	
DATE	02-27-08		
SCALE	N.T.S.	SHEET	2 OF 4

# "EXHIBIT A"



DETAIL

## LEGEND

NOTE: SYMBOLS MAY NOT BE TO DRAWING SCALE, SO AS TO BETTER ENHANCE GRAPHICAL REPRESENTATION

----- CENTERLINE OF 8' EASEMENT  
 \_\_\_\_\_ PROPERTY LINE

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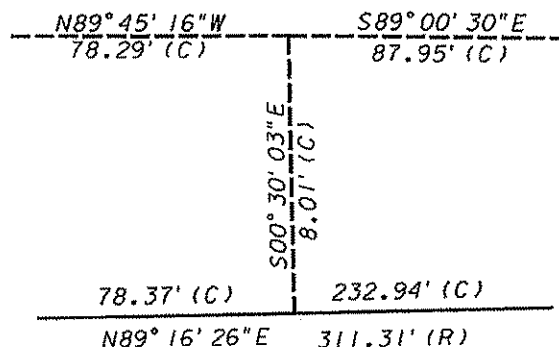
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SALT RIVER PROJECT A.I.  
& POWER DISTRICT

TEMPE MARKET PLACE  
23.9 EAST - 3.7 NORTH  
NW1/4, SEC 13, T1N, R4E  
UNDERGROUND ELECTRIC  
POWER LINE RIGHT-OF-WAY

DESIGNED	SCHULTZ	AGENT	MCGUIRE
DRAWN	MARTIN	APPROVED:	
DATE	02-27-08		
SCALE	N.T.S.	SHEET	3 OF 4

# "EXHIBIT A"



## DETAIL

### LEGEND

NOTE: SYMBOLS MAY NOT BE TO DRAWING SCALE,  
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REPRESENTATION

----- CENTERLINE OF 8' EASEMENT  
————— PROPERTY LINE

### CAUTION

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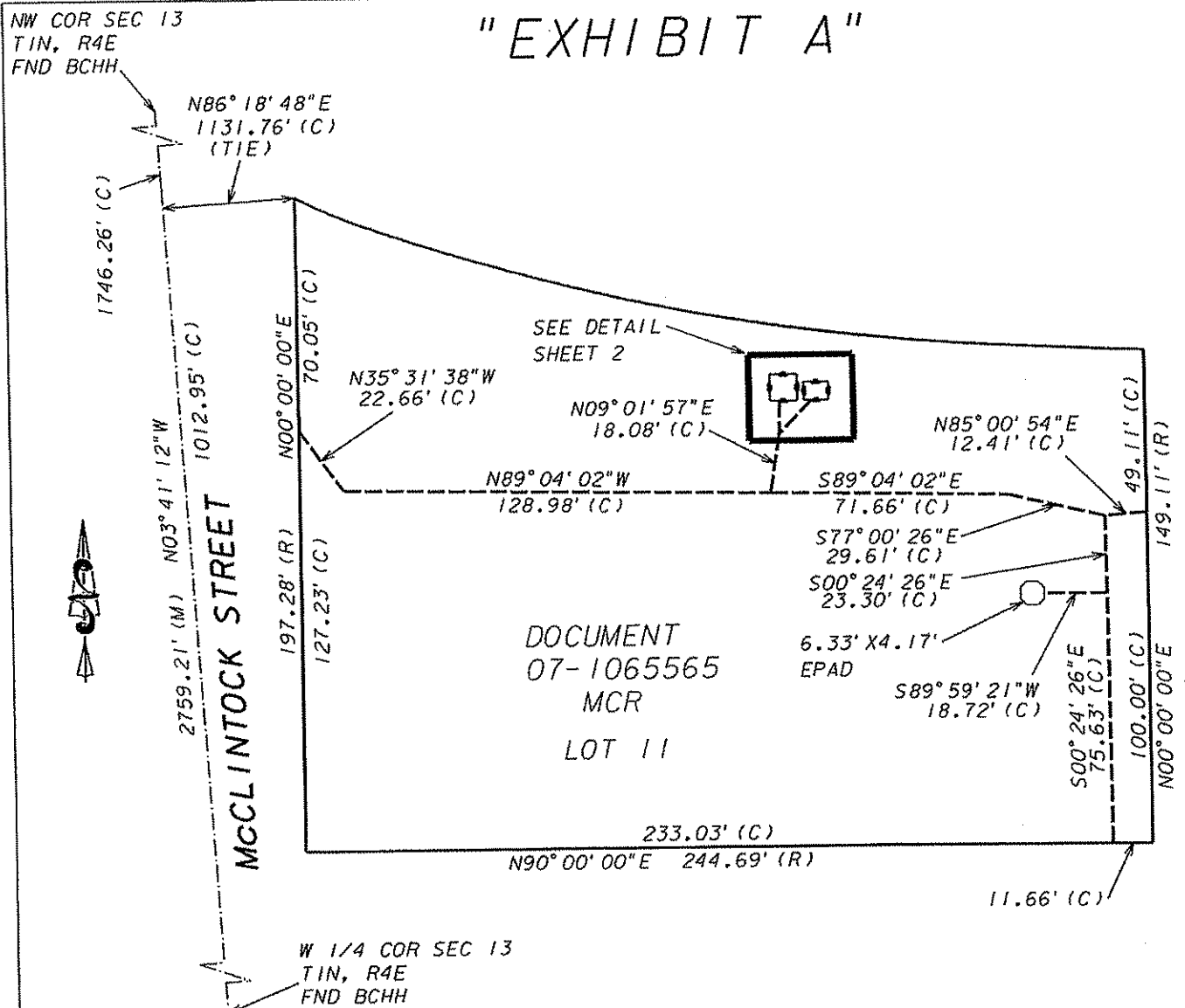
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SALT RIVER PROJECT A.I.  
& POWER DISTRICT

TEMPE MARKET PLACE  
23.9 EAST - 3.7 NORTH  
NW1/4, SEC 13, T1N, R4E  
UNDERGROUND ELECTRIC  
POWER LINE RIGHT-OF-WAY

DESIGNED	SCHULTZ	AGENT	MCGUIRE
DRAWN	MARTIN	APPROVED:	
DATE	02-27-08		
SCALE	N.T.S.	SHEET	4 OF 4

# "EXHIBIT A"



## LEGEND

NOTE: SYMBOLS MAY NOT BE TO DRAWING SCALE,  
SO AS TO BETTER ENHANCE GRAPHICAL REPRESENTATION

- SECTION AND CENTERLINE
- PROPERTY LINE
- CENTERLINE OF 8' EASEMENT
- EQUIPMENT PAD

## CAUTION

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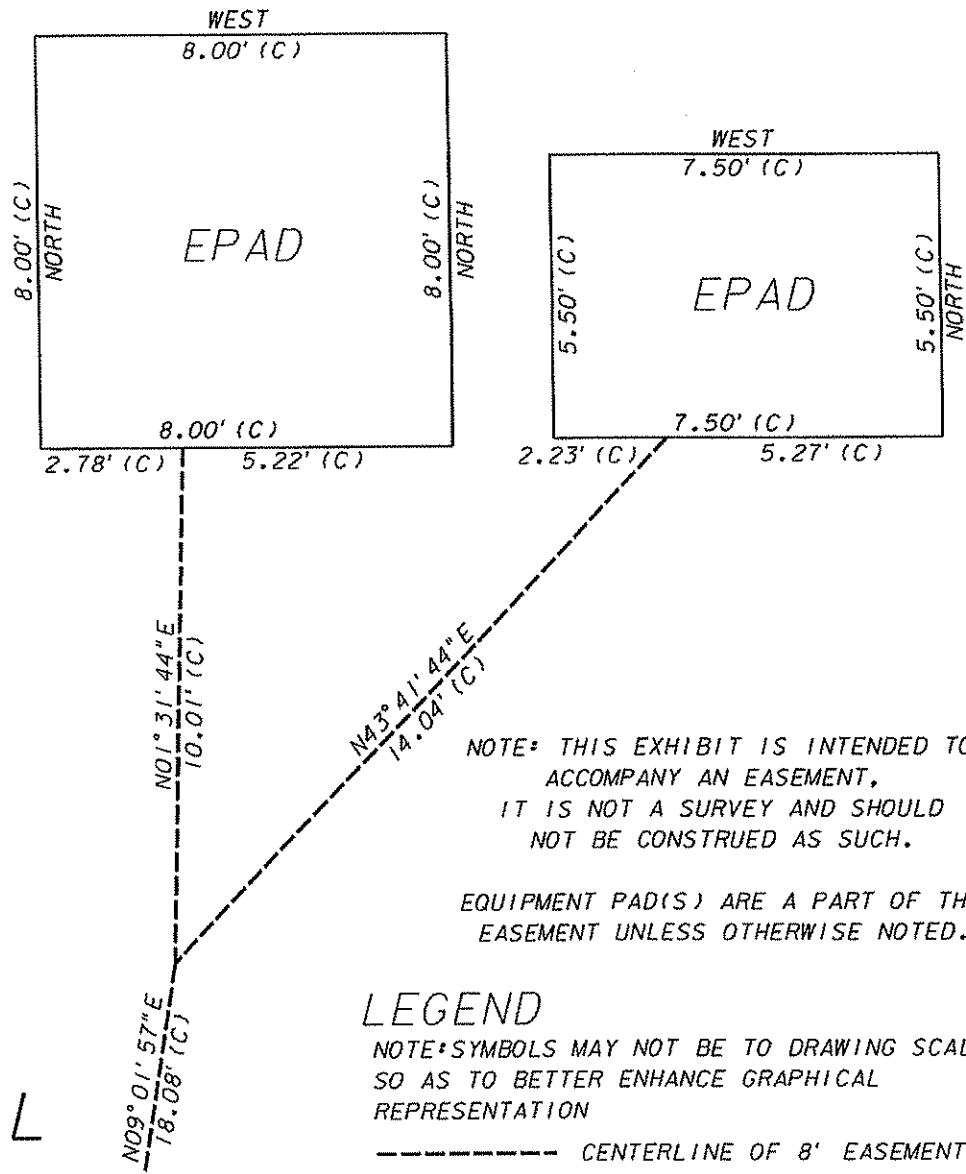
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OTHERWISE NOTED.

SALT RIVER PROJECT A.I.  
& POWER DISTRICT

TEMPE MARKET PLACE  
23.9 EAST - 3.7 NORTH  
NW1/4, SEC 13, T1N, R4E  
UNDERGROUND ELECTRIC  
POWER LINE RIGHT-OF-WAY

DESIGNED	SCHULTZ	AGENT	MCGUIRE
DRAWN	MARTIN	APPROVED:	
DATE	02-27-08		
SCALE	N.T.S.	SHEET	1 OF 2

# "EXHIBIT A"



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## LEGEND

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----- CENTERLINE OF 8' EASEMENT  
 \_\_\_\_\_ PROPERTY LINE

## DETAIL

## CAUTION

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SALT RIVER PROJECT A.I.  
& POWER DISTRICT

TEMPE MARKET PLACE  
23.9 EAST - 3.7 NORTH  
NW1/4, SEC 13, T1N, R4E  
UNDERGROUND ELECTRIC  
POWER LINE RIGHT-OF-WAY

DESIGNED	SCHULTZ	AGENT	MCGUIRE
DRAWN	MARTIN	APPROVED:	
DATE	02-27-08		
SCALE	N.T.S.	SHEET	2 OF 2

NW COR SEC 13  
T1N, R4E  
FND BCHH

N86°18'48"E  
906.93' (C)  
(TIE)

12.79' (C)

25.63' (C)

S74°10'04"W  
146.80' (R)  
108.38' (C)

S16°59'22"E  
4.05' (C)

S72°06'42"W  
10.39' (C)

DETAIL SEE  
SHEET 2

S15°50'26"E  
154.18' (C)  
164.95' (R)

DOCUMENT  
07-1088749  
MCR

D=26°19'00"  
R=211.13' (R)  
L=96.97' (R)

W 1/4 COR SEC 13  
T1N, R4E  
FND BCHH

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EQUIPMENT PAD(S) ARE A PART  
OF THE EASEMENT UNLESS  
OTHERWISE NOTED.

"EXHIBIT A"

D=48°57'19"  
R=151.00' (R)  
L=129.02' (R)

N35°02'42"W  
136.49' (C)

70.05' (C)  
197.28' (R)

LOT 12

S00°00'00"E  
157.62' (R)

127.23' (C)  
N00°00'00"E

D=16°10'08"  
R=335.00' (R)  
L=94.54' (R)

## LEGEND

NOTE: SYMBOLS MAY NOT BE TO DRAWING SCALE,  
SO AS TO BETTER ENHANCE GRAPHICAL REPRESENTATION

- SECTION AND CENTERLINE
- PROPERTY LINE
- CENTERLINE OF 8' EASEMENT

## CAUTION

THE EASEMENT LOCATION AS HEREON  
DELINEATED MAY CONTAIN HIGH VOLTAGE  
ELECTRICAL EQUIPMENT, NOTICE IS  
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OR FACILITIES MUST BE VERIFIED AS  
REQUIRED BY ARIZONA REVISED STATUTES,  
SECTION 40-380.21, ET. SEQ., ARIZONA  
BLUE STAKE LAW, PRIOR TO ANY  
EXCAVATION.

SRP JOB  
KJB-3073

SALT RIVER PROJECT A.I.  
& POWER DISTRICT

TEMPE MARKET PLACE  
23.9 EAST - 3.7 NORTH  
NW1/4, SEC 13, T1N, R4E  
UNDERGROUND ELECTRIC  
POWER LINE RIGHT-OF-WAY

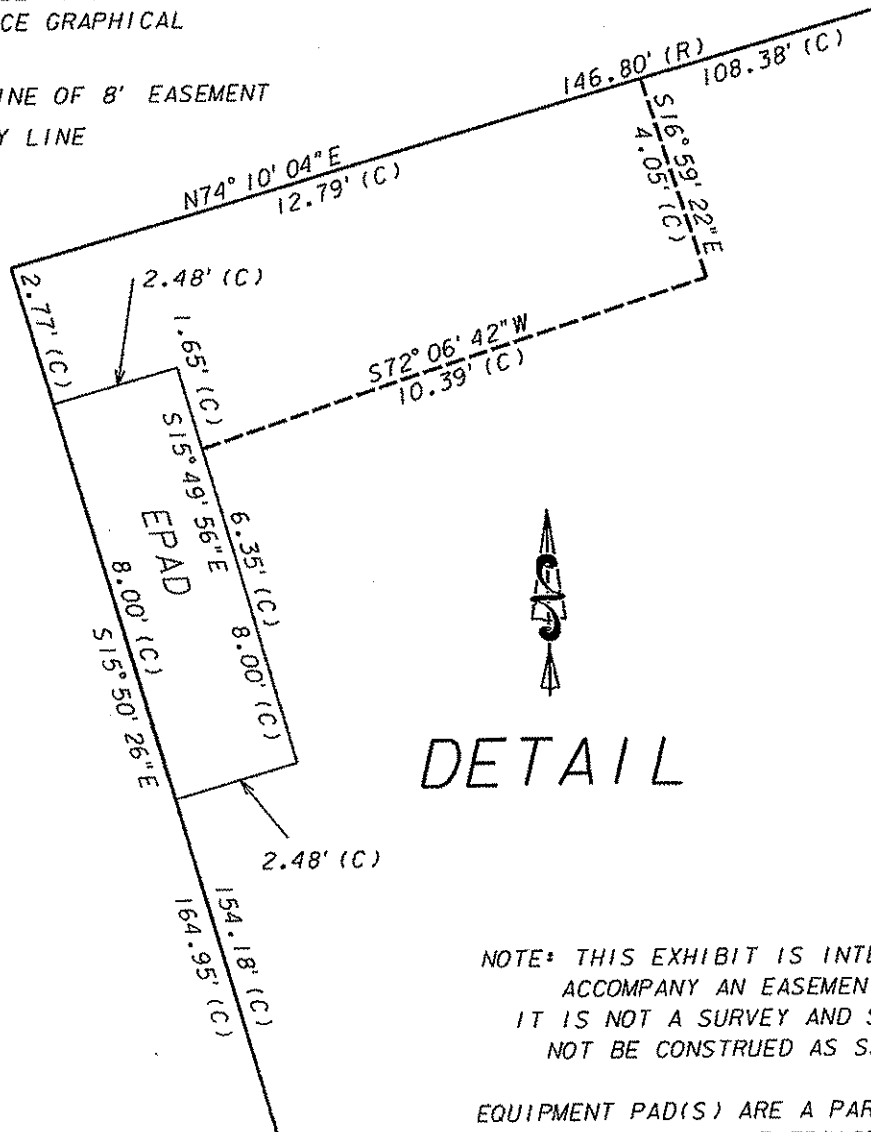
DESIGNED	SCHULTZ	AGENT	MCGUIRE
DRAWN	MARTIN	APPROVED:	
DATE	02-27-08		
SCALE	N.T.S.	SHEET	1 OF 2

# "EXHIBIT A"

## LEGEND

NOTE: SYMBOLS MAY NOT BE TO DRAWING SCALE,  
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REPRESENTATION

----- CENTERLINE OF 8' EASEMENT  
————— PROPERTY LINE



## DETAIL

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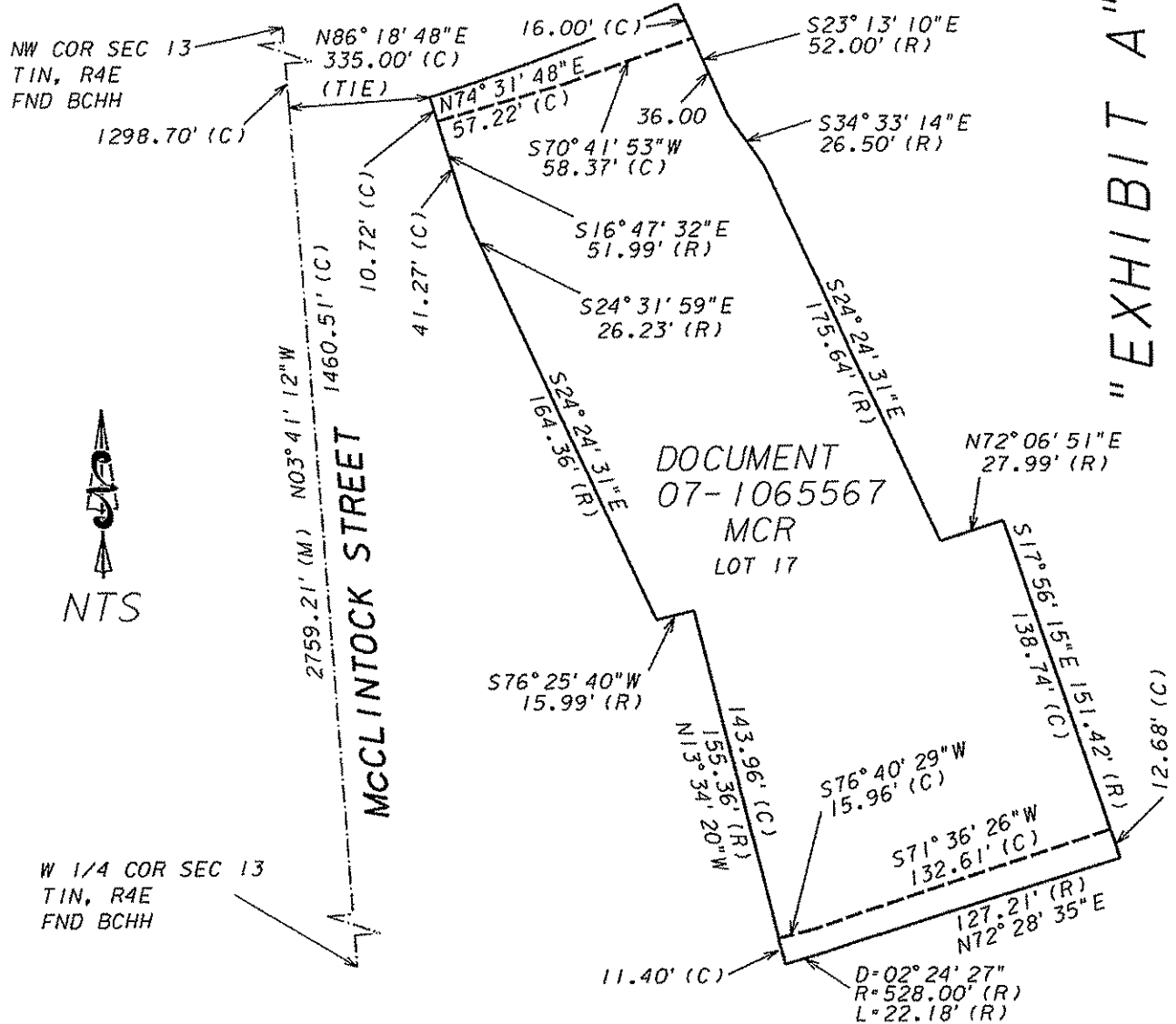
SRP JOB  
KJB-3073

SALT RIVER PROJECT A.I.  
& POWER DISTRICT

TEMPE MARKET PLACE  
23.9 EAST - 3.7 NORTH  
NW1/4, SEC 13, T1N, R4E  
UNDERGROUND ELECTRIC  
POWER LINE RIGHT-OF-WAY

DESIGNED	SCHULTZ	AGENT	MCGUIRE
DRAWN	MARTIN	APPROVED:	
DATE	02-27-08		
SCALE	N.T.S.	SHEET	2 OF 2

"EXHIBIT A"



## LEGEND

NOTE: SYMBOLS MAY NOT BE TO DRAWING SCALE,  
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- SECTION AND CENTERLINE
- PROPERTY LINE
- CENTERLINE OF 8' EASEMENT

## CAUTION

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SALT RIVER PROJECT A.I.  
& POWER DISTRICT

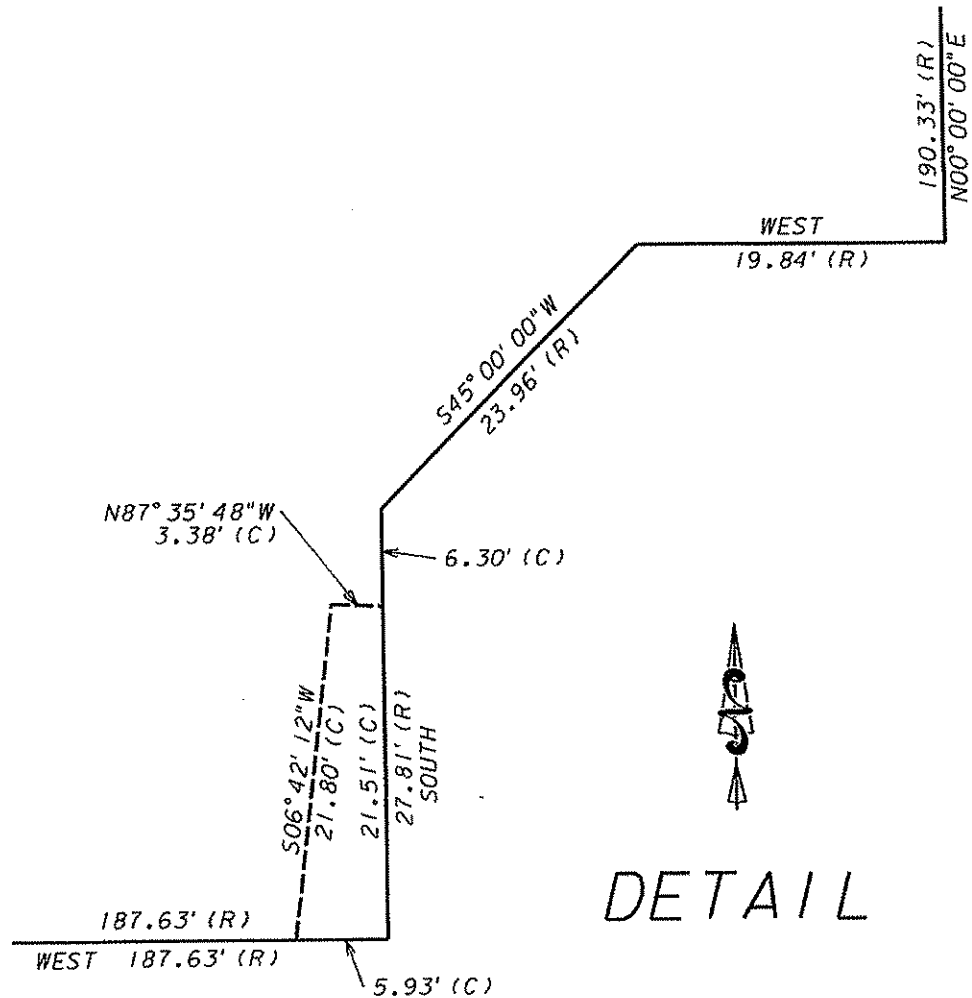
TEMPE MARKET PLACE  
23.9 EAST - 3.7 NORTH  
NW1/4, SEC 13, TIN, R4E  
UNDERGROUND ELECTRIC  
POWER LINE RIGHT-OF-WAY

DESIGNED	SCHULTZ	AGENT	MCGUIRE
DRAWN	MARTIN	APPROVED:	
DATE	02-27-08		
SCALE	N.T.S.	SHEET	1 OF 1





# "EXHIBIT A"



DETAIL

## LEGEND

NOTE: SYMBOLS MAY NOT BE TO DRAWING SCALE,  
SO AS TO BETTER ENHANCE GRAPHICAL  
REPRESENTATION

----- CENTERLINE OF 8' EASEMENT  
————— PROPERTY LINE

## CAUTION

THE EASEMENT LOCATION AS HEREON  
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SALT RIVER PROJECT A.I.  
& POWER DISTRICT

TEMPE MARKET PLACE  
23.9 EAST - 3.7 NORTH  
NW1/4, SEC 13, T1N, R4E  
UNDERGROUND ELECTRIC  
POWER LINE RIGHT-OF-WAY

DESIGNED	SCHULTZ	AGENT	MCGUIRE
DRAWN	MARTIN	APPROVED:	
DATE	02-27-08		
SCALE	N.T.S.	SHEET	2 OF 5

# "EXHIBIT A"

DETAIL

## LEGEND

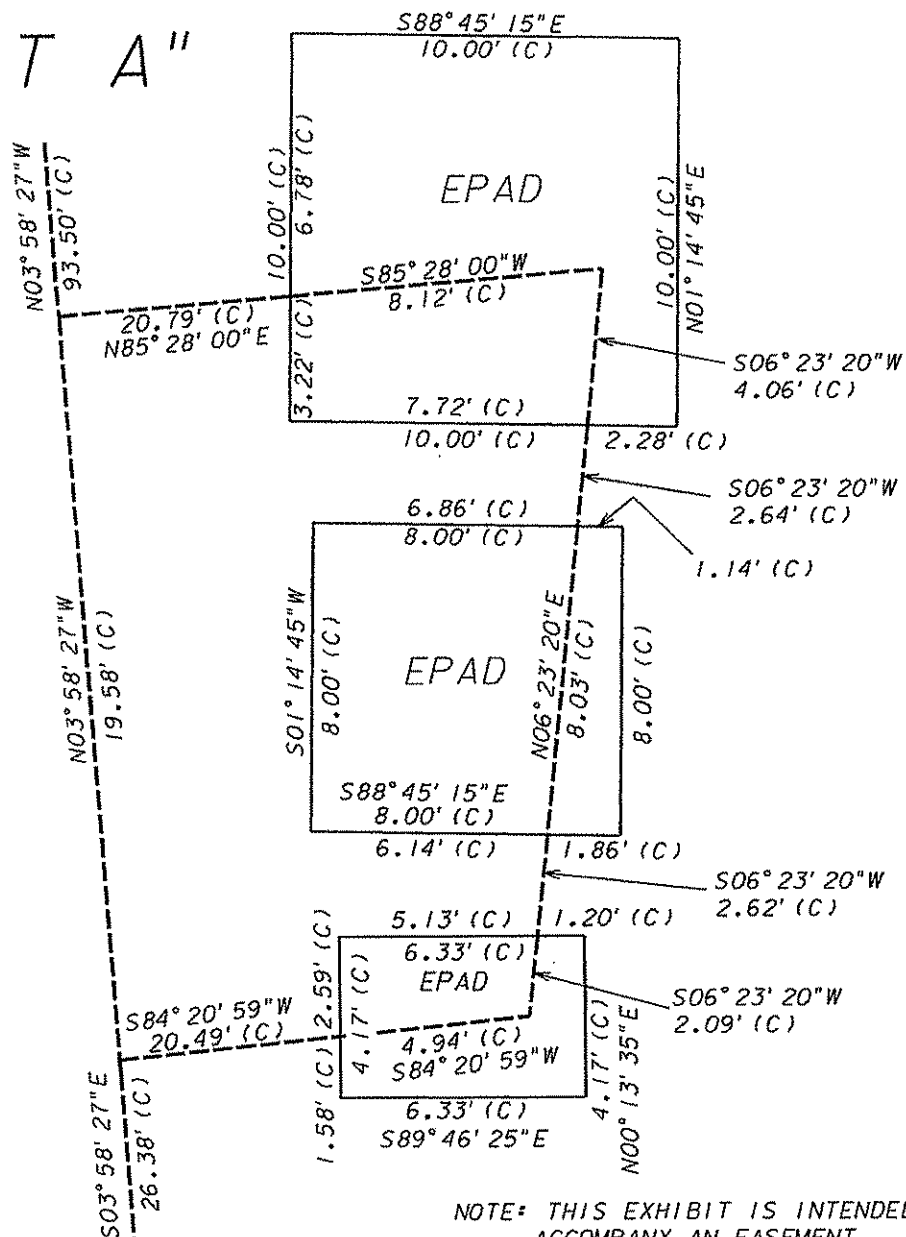
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REPRESENTATION

----- CENTERLINE OF 8' EASEMENT

## CAUTION

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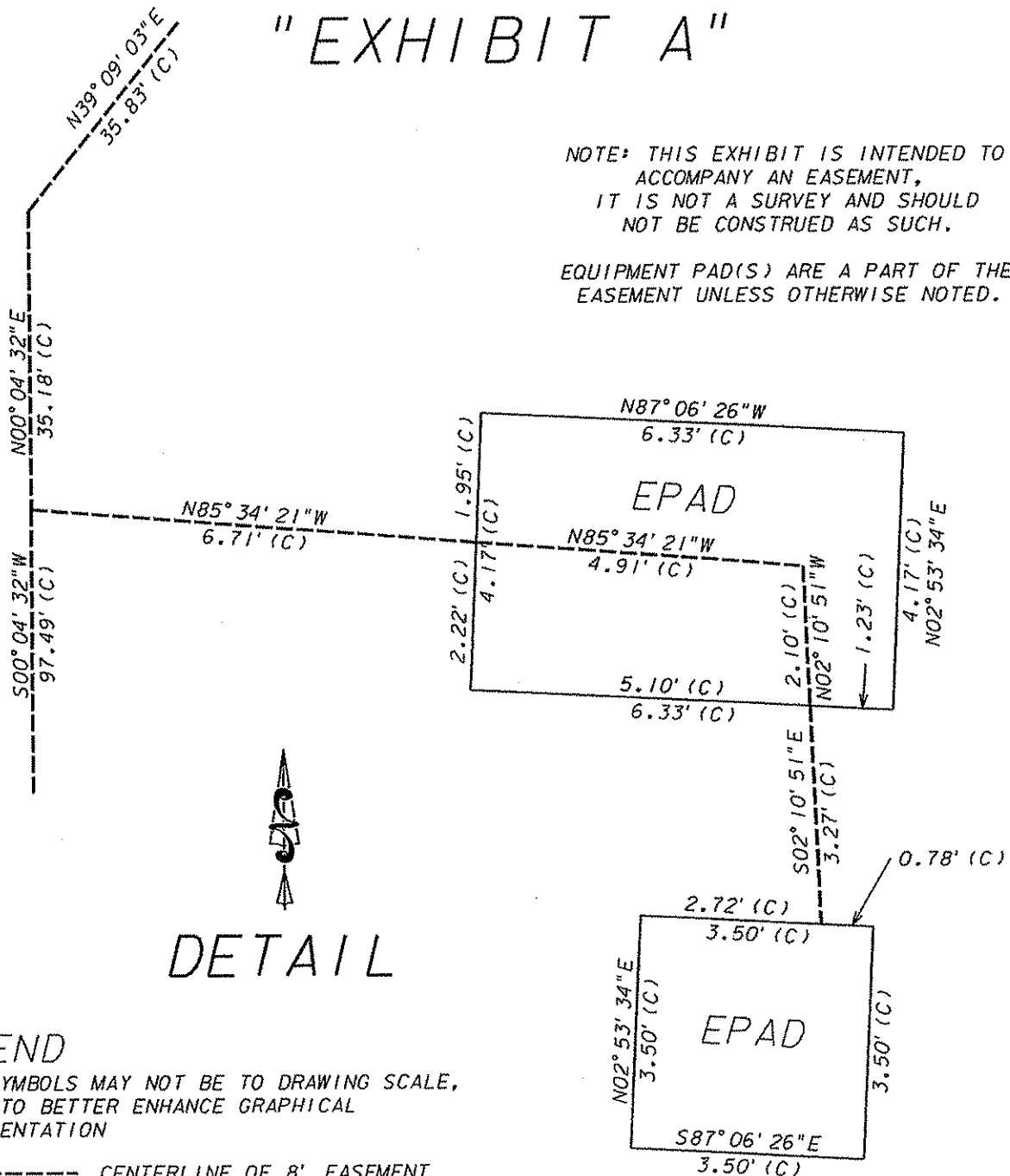
SALT RIVER PROJECT A.I.  
& POWER DISTRICT

TEMPE MARKET PLACE  
23.9 EAST - 3.7 NORTH  
NW1/4, SEC 13, T1N, R4E  
UNDERGROUND ELECTRIC  
POWER LINE RIGHT-OF-WAY

DESIGNED	SCHULTZ	AGENT	MCGUIRE
DRAWN	MARTIN	APPROVED:	
DATE	02-27-08		
SCALE	N.T.S.	SHEET	3 OF 5

5

EQUIPMENT PAD(S) ARE A PART OF THE  
EASEMENT UNLESS OTHERWISE NOTED.



NOTE: SYMBOLS MAY NOT BE TO DRAWING SCALE,  
SO AS TO BETTER ENHANCE GRAPHICAL  
REPRESENTATION

CENTERLINE OF 8' EASEMENT

THE EASEMENT LOCATION AS HEREON  
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EXCAVATION.

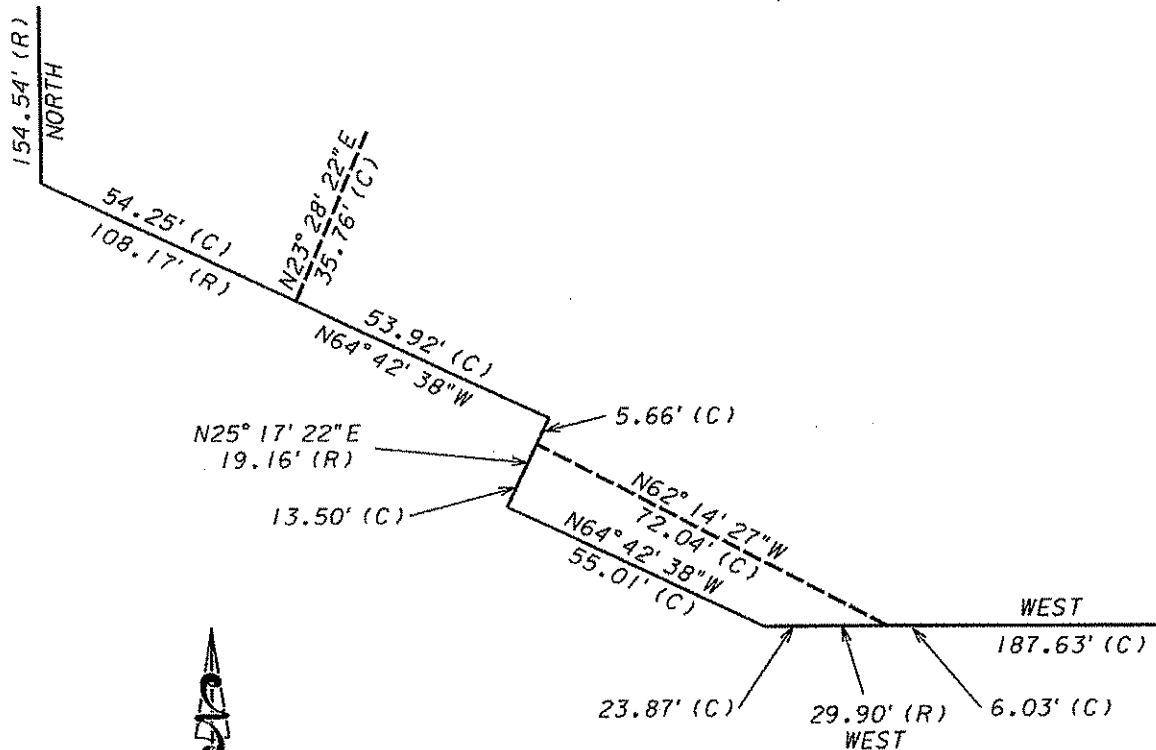
SRP JOB  
KJB-3073

SALT RIVER PROJECT A.I.  
& POWER DISTRICT

TEMPE MARKET PLACE  
23.9 EAST - 3.7 NORTH  
NW1/4, SEC 13, T1N, R4E  
UNDERGROUND ELECTRIC  
POWER LINE RIGHT-OF-WAY

DESIGNED SCHULTZ AGENT MCGUIRE  
DRAWN MARTIN APPROVED: \_\_\_\_\_  
DATE 02-27-08  
SCALE N.T.S. SHEET 4 OF 5

# "EXHIBIT A"



## DETAIL

### LEGEND

NOTE: SYMBOLS MAY NOT BE TO DRAWING SCALE,  
SO AS TO BETTER ENHANCE GRAPHICAL  
REPRESENTATION

----- CENTERLINE OF 8' EASEMENT  
————— PROPERTY LINE

### CAUTION

THE EASEMENT LOCATION AS HEREON  
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SRP JOB  
KJB-3073

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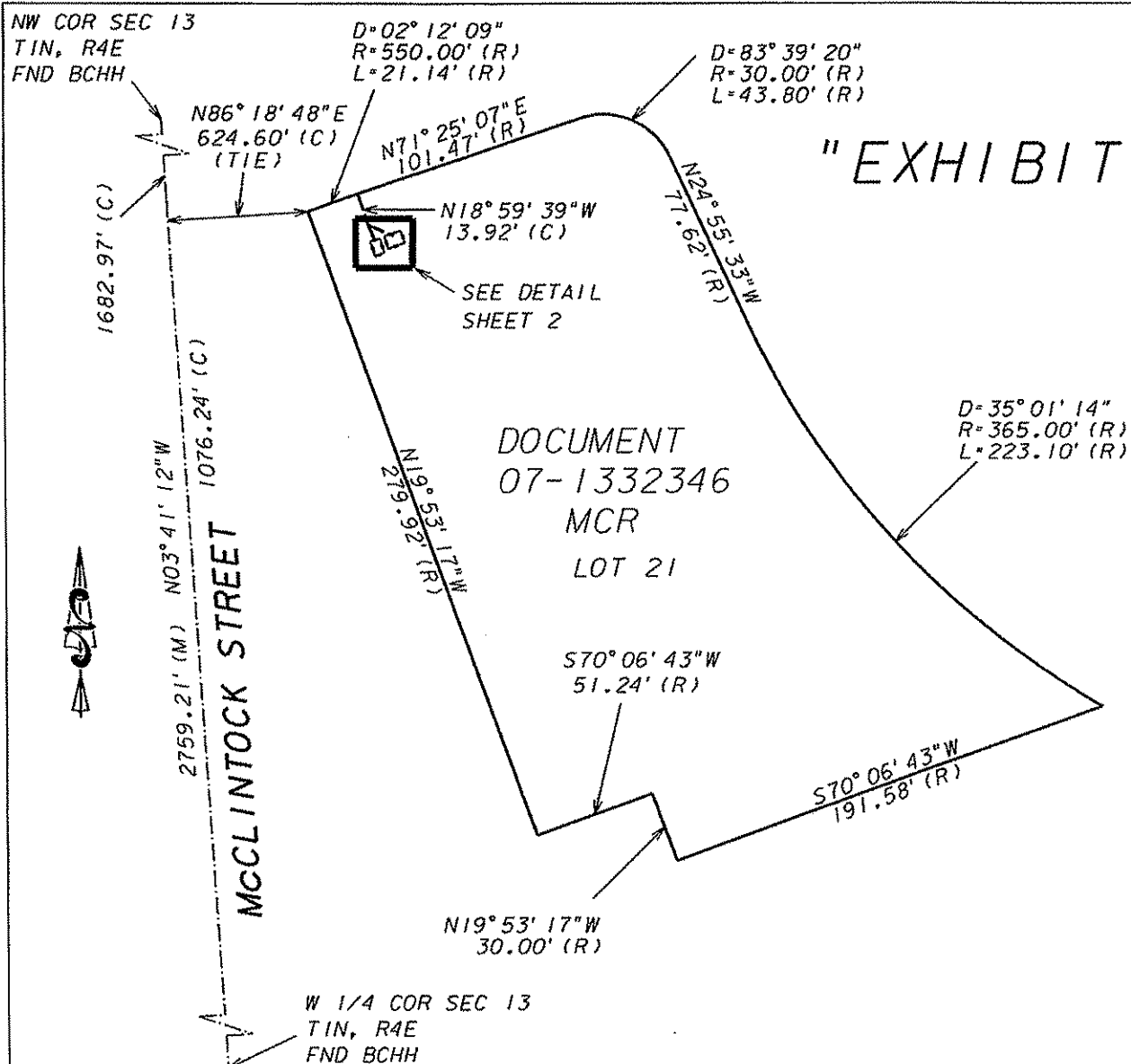
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SALT RIVER PROJECT A.I.  
& POWER DISTRICT

TEMPE MARKET PLACE  
23.9 EAST - 3.7 NORTH  
NW1/4, SEC 13, T1N, R4E  
UNDERGROUND ELECTRIC  
POWER LINE RIGHT-OF-WAY

DESIGNED	SCHULTZ	AGENT	MCGUIRE
DRAWN	MARTIN	APPROVED:	
DATE	02-27-08		
SCALE	N.T.S.	SHEET	5 OF 5

# "EXHIBIT A"



DOCUMENT  
07-1332346  
MCR  
LOT 21

## LEGEND

NOTE: SYMBOLS MAY NOT BE TO DRAWING SCALE,  
SO AS TO BETTER ENHANCE GRAPHICAL REPRESENTATION

- SECTION AND CENTERLINE
- PROPERTY LINE
- CENTERLINE OF 8' EASEMENT

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## CAUTION

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SRP JOB  
KJB-3073

SALT RIVER PROJECT A.I. & POWER DISTRICT			
TEMPE MARKET PLACE 23.9 EAST - 3.7 NORTH NW1/4, SEC 13, TIN, R4E UNDERGROUND ELECTRIC POWER LINE RIGHT-OF-WAY			
DESIGNED	SCHULTZ	AGENT	MCGUIRE
DRAWN	MARTIN	APPROVED:	
DATE	02-27-08		
SCALE	N.T.S.	SHEET	1 OF 2

5



NOTE: SYMBOLS MAY NOT BE TO DRAWING SCALE.  
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REPRESENTATION

----- CENTERLINE OF 8' EASEMENT  
----- PROPERTY LINE

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SRP JOB  
KJB-3073

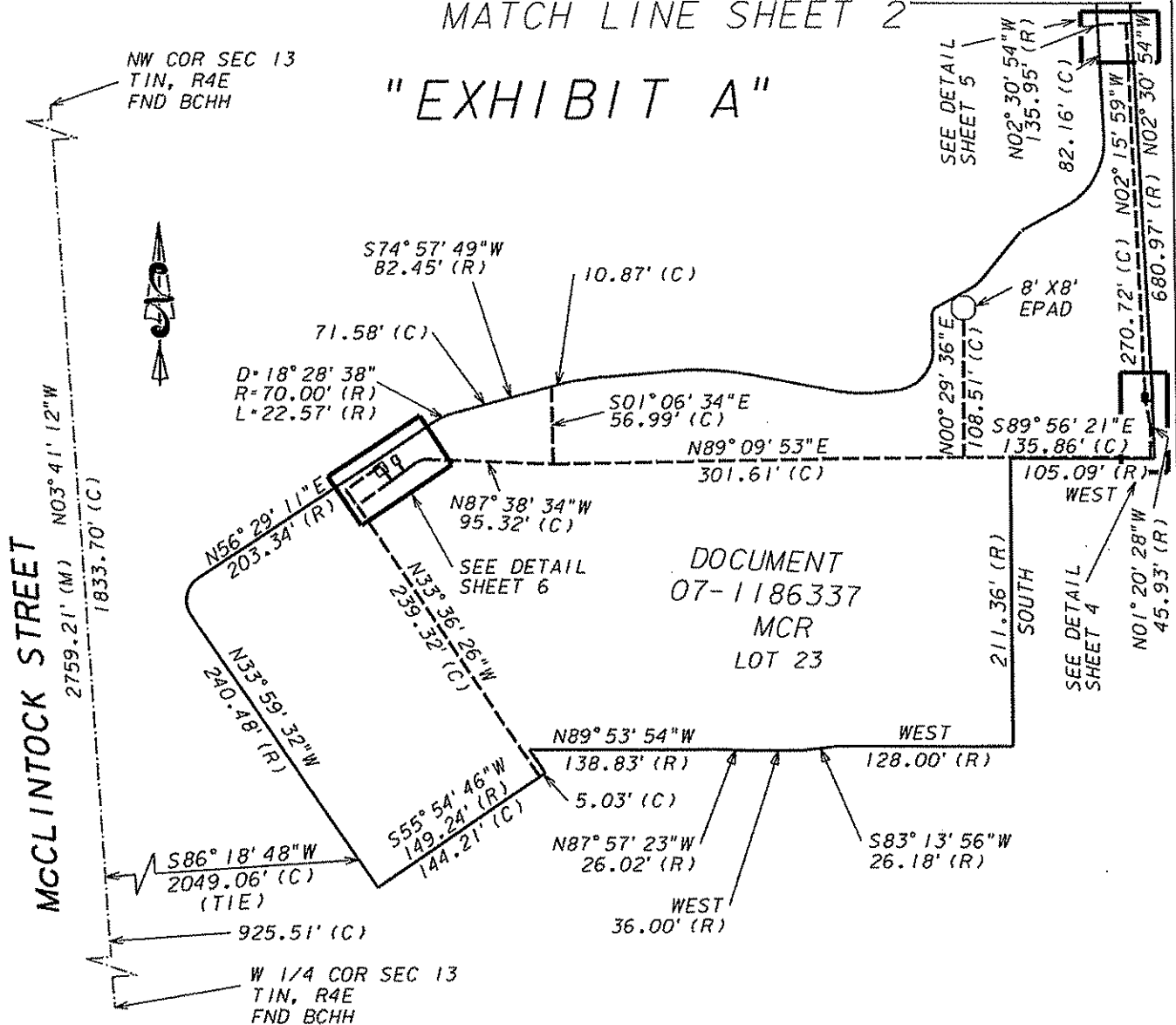
SALT RIVER PROJECT A.I.  
& POWER DISTRICT

TEMPE MARKET PLACE  
23.9 EAST - 3.7 NORTH  
NW1/4, SEC 13, T1N, R4E  
UNDERGROUND ELECTRIC  
POWER LINE RIGHT-OF-WAY

DESIGNED SCHULTZ AGENT MCGUIRE  
DRAWN MARTIN APPROVED: \_\_\_\_\_  
DATE 02-27-08  
SCALE N.T.S. SHEET 2 OF 2

# MATCH LINE SHEET 2

## "EXHIBIT A"



### LEGEND

NOTE: SYMBOLS MAY NOT BE TO DRAWING SCALE,  
SO AS TO BETTER ENHANCE GRAPHICAL REPRESENTATION

- SECTION AND CENTERLINE
- PROPERTY LINE
- - - CENTERLINE OF 8' EASEMENT
- EQUIPMENT PAD

### CAUTION

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SALT RIVER PROJECT A.I.  
& POWER DISTRICT

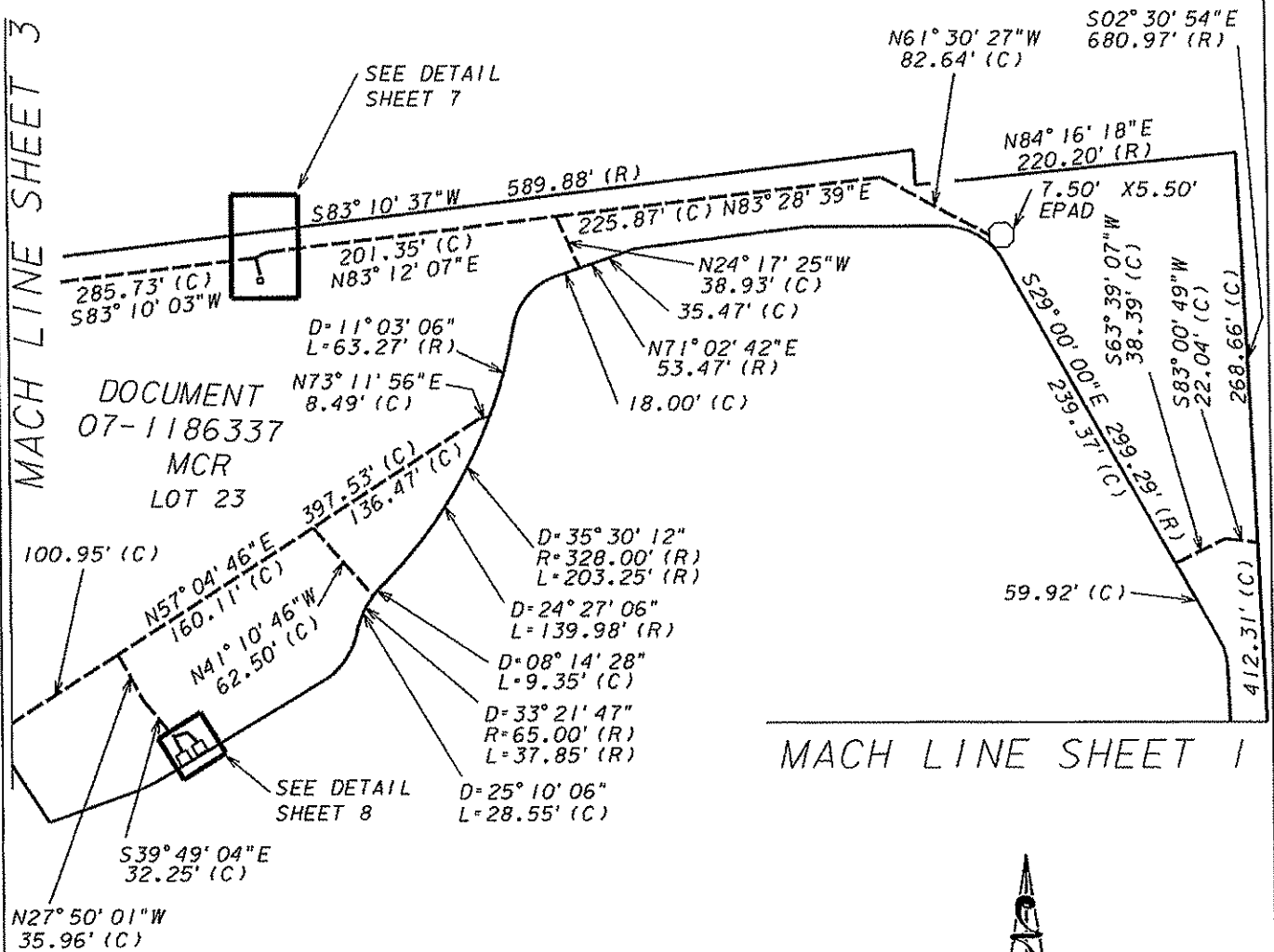
TEMPE MARKET PLACE  
23.9 EAST - 3.7 NORTH  
NW1/4, SEC 13, T1N, R4E  
UNDERGROUND ELECTRIC  
POWER LINE RIGHT-OF-WAY

DESIGNED	SCHULTZ	AGENT	MCGUIRE
DRAWN	MARTIN	APPROVED:	
DATE	02-27-08		
SCALE	N.T.S.	SHEET	1 OF 10



# "EXHIBIT A"

MACH LINE SHEET 3



MACH LINE SHEET 1



## LEGEND

NOTE: SYMBOLS MAY NOT BE TO DRAWING SCALE, SO AS TO BETTER ENHANCE GRAPHICAL REPRESENTATION

- PROPERTY LINE
- - - - - CENTERLINE OF 8' EASEMENT
- EQUIPMENT PAD

## CAUTION

THE EASEMENT LOCATION AS HEREON DELINEATED MAY CONTAIN HIGH VOLTAGE ELECTRICAL EQUIPMENT. NOTICE IS HEREBY GIVEN THAT THE LOCATION OF UNDERGROUND ELECTRICAL CONDUCTORS OR FACILITIES MUST BE VERIFIED AS REQUIRED BY ARIZONA REVISED STATUTES, SECTION 40-380.21, ET. SEQ., ARIZONA BLUE STAKE LAW, PRIOR TO ANY EXCAVATION.

SRP JOB  
KJB-3073

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SALT RIVER PROJECT A.I.  
& POWER DISTRICT

TEMPE MARKET PLACE  
23.9 EAST - 3.7 NORTH  
NW1/4, SEC 13, T1N, R4E  
UNDERGROUND ELECTRIC  
POWER LINE RIGHT-OF-WAY

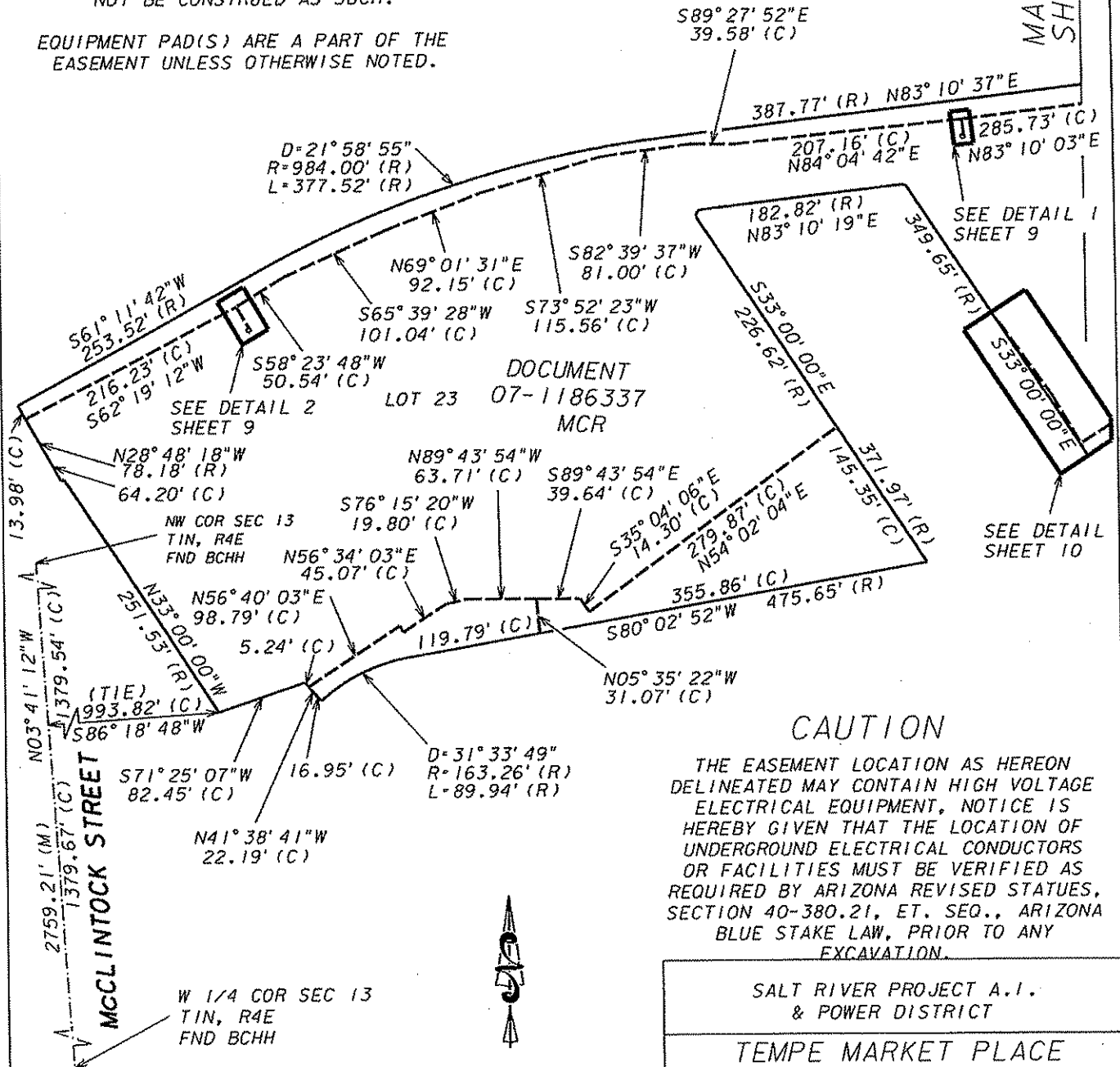
DESIGNED	SCHULTZ	AGENT	MCGUIRE
DRAWN	MARTIN	APPROVED:	
DATE	02-27-08		
SCALE	N.T.S.	SHEET	2 OF 10

# "EXHIBIT A"

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MACH LINE  
SHEET 2



## CAUTION

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SALT RIVER PROJECT A.I.  
& POWER DISTRICT

TEMPE MARKET PLACE  
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UNDERGROUND ELECTRIC  
POWER LINE RIGHT-OF-WAY

## LEGEND

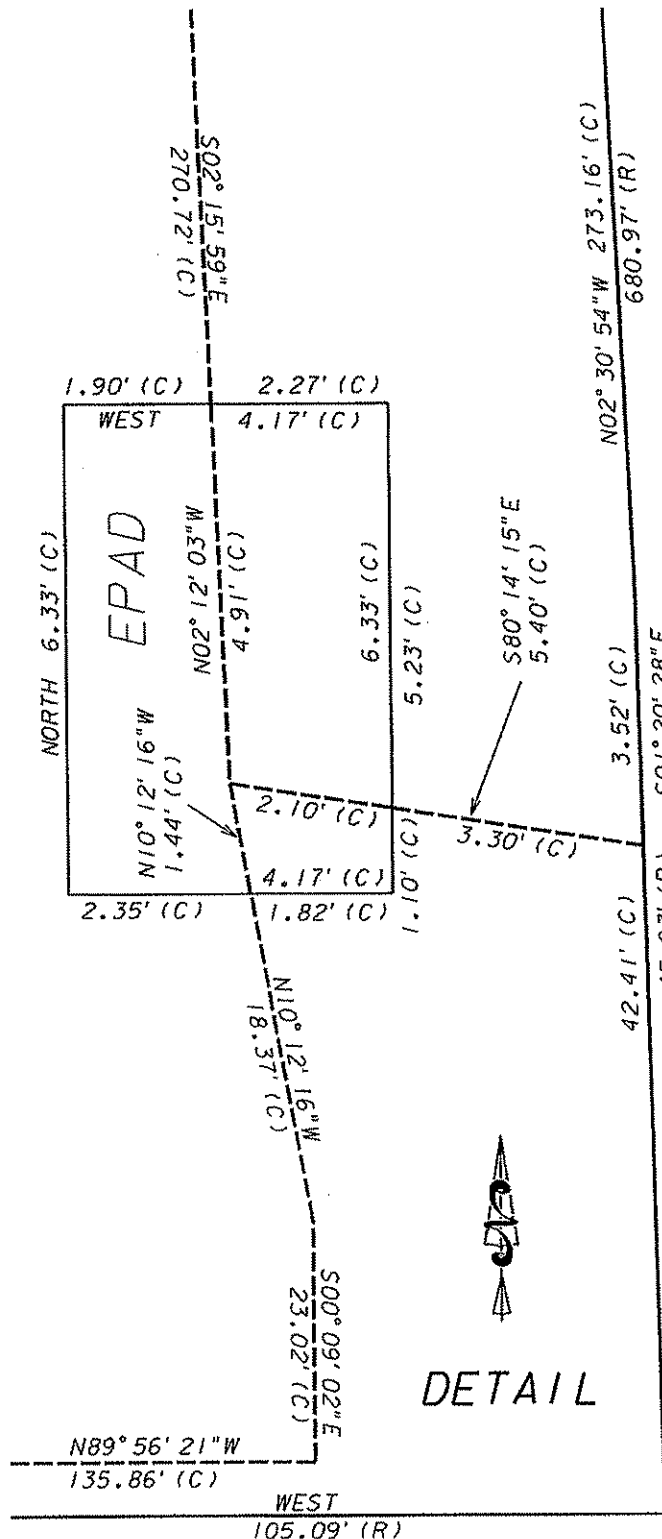
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- SECTION AND CENTERLINE
- PROPERTY LINE
- CENTERLINE OF 8' EASEMENT

SRP JOB  
KJB-3073

DESIGNED	SCHULTZ	AGENT	MCGUIRE
DRAWN	MARTIN	APPROVED:	
DATE	02-27-08		
SCALE	N.T.S.	SHEET	3 OF 10

# "EXHIBIT A"



## LEGEND

NOTE: SYMBOLS MAY NOT BE TO DRAWING SCALE, SO AS TO BETTER ENHANCE GRAPHICAL REPRESENTATION

————— PROPERTY LINE  
 - - - - - CENTERLINE OF 8' EASEMENT

## CAUTION

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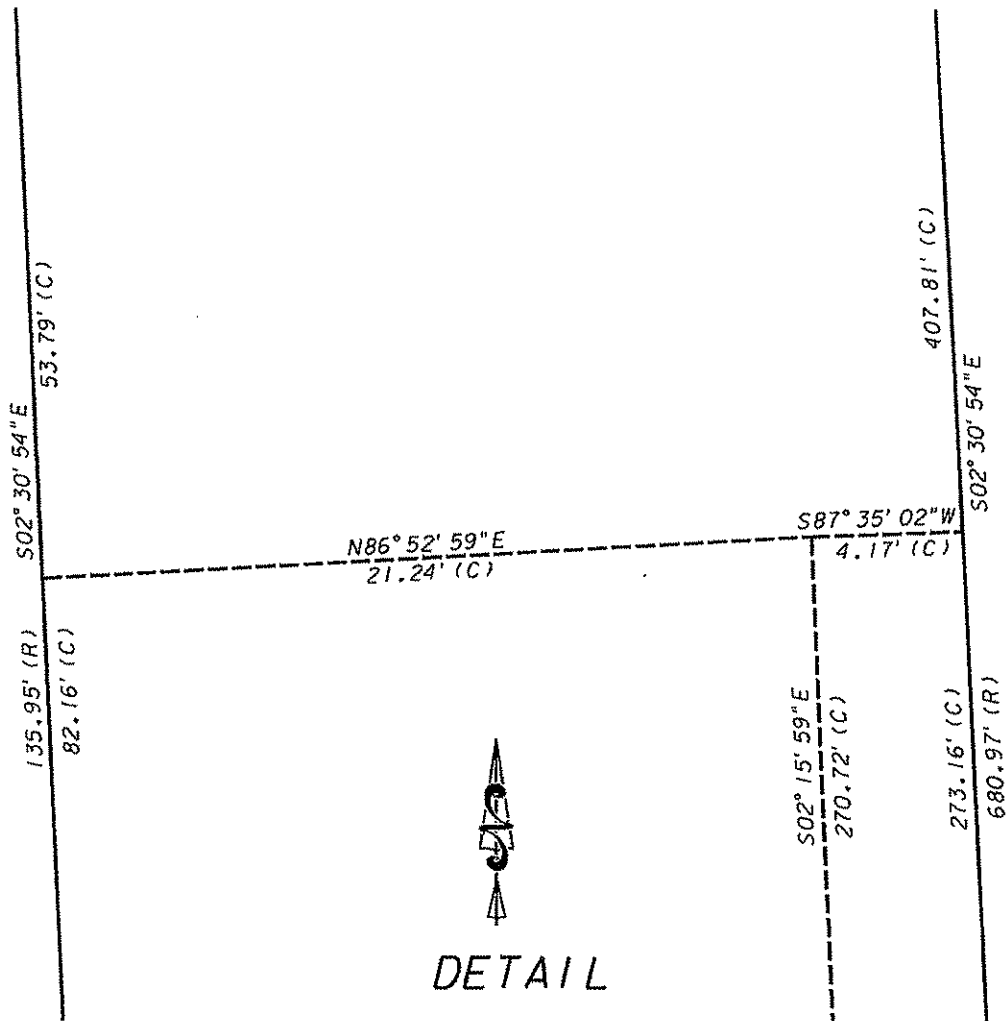
SALT RIVER PROJECT A.1.  
 & POWER DISTRICT

TEMPE MARKET PLACE  
 23.9 EAST - 3.7 NORTH  
 NW1/4, SEC 13, T1N, R4E  
 UNDERGROUND ELECTRIC  
 POWER LINE RIGHT-OF-WAY

DESIGNED	SCHULTZ	AGENT	MCGUIRE
DRAWN	MARTIN	APPROVED:	
DATE	02-27-08		
SCALE	N.T.S.	SHEET	4 OF 10

SRP JOB  
 KJB-3073

# "EXHIBIT A"



DETAIL

## LEGEND

NOTE: SYMBOLS MAY NOT BE TO DRAWING SCALE, SO AS TO BETTER ENHANCE GRAPHICAL REPRESENTATION

————— PROPERTY LINE  
 - - - - - CENTERLINE OF 8' EASEMENT

## CAUTION

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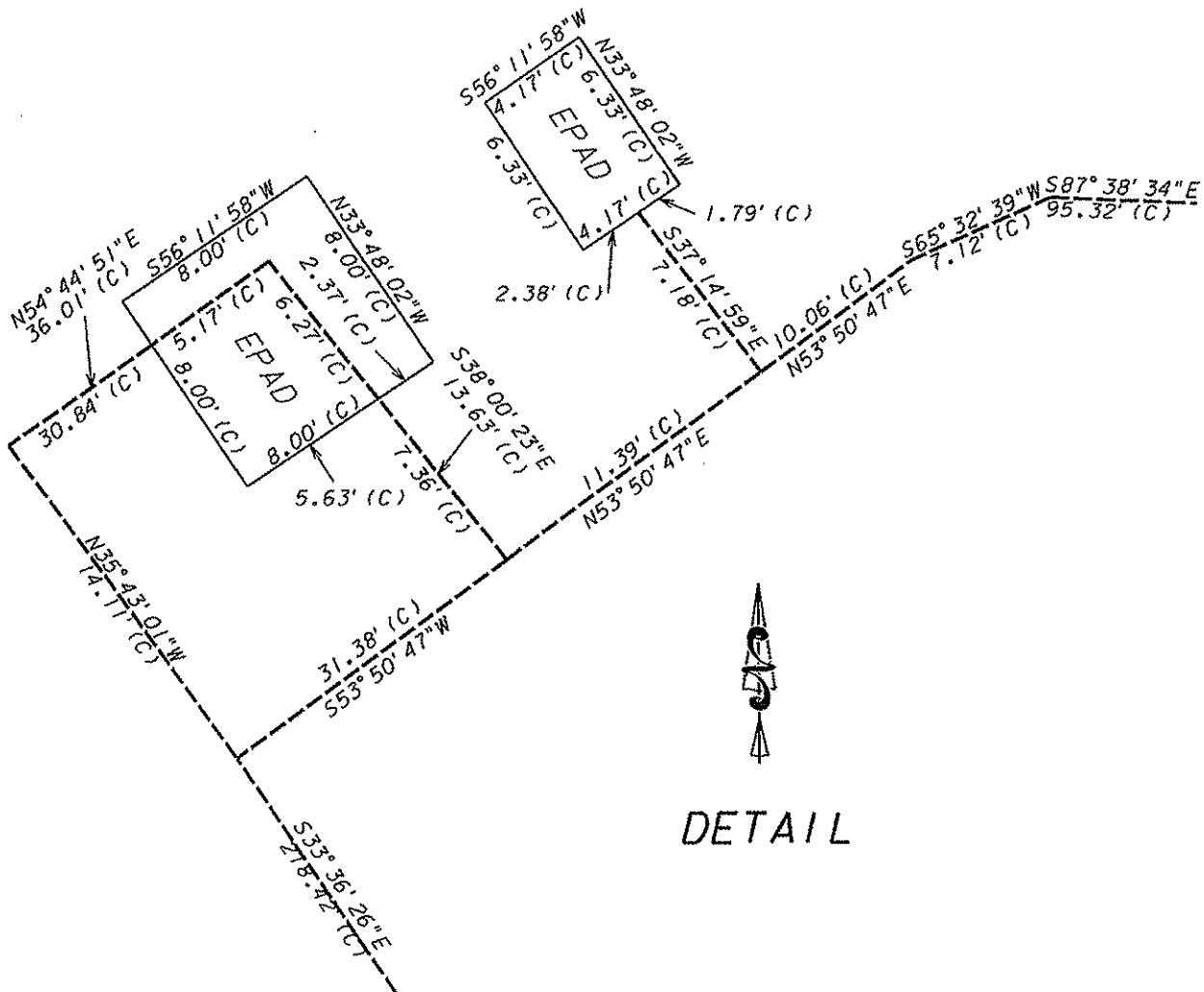
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SALT RIVER PROJECT A.I.  
 & POWER DISTRICT

TEMPE MARKET PLACE  
 23.9 EAST - 3.7 NORTH  
 NW1/4, SEC 13, T1N, R4E  
 UNDERGROUND ELECTRIC  
 POWER LINE RIGHT-OF-WAY

DESIGNED	SCHULTZ	AGENT	MCGUIRE
DRAWN	MARTIN	APPROVED:	
DATE	02-27-08		
SCALE	N.T.S.	SHEET	5 OF 10

# "EXHIBIT A"



DETAIL

## LEGEND

NOTE: SYMBOLS MAY NOT BE TO DRAWING SCALE, SO AS TO BETTER ENHANCE GRAPHICAL REPRESENTATION

————— PROPERTY LINE  
 - - - - - CENTERLINE OF 8' EASEMENT

## CAUTION

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KJB-3073

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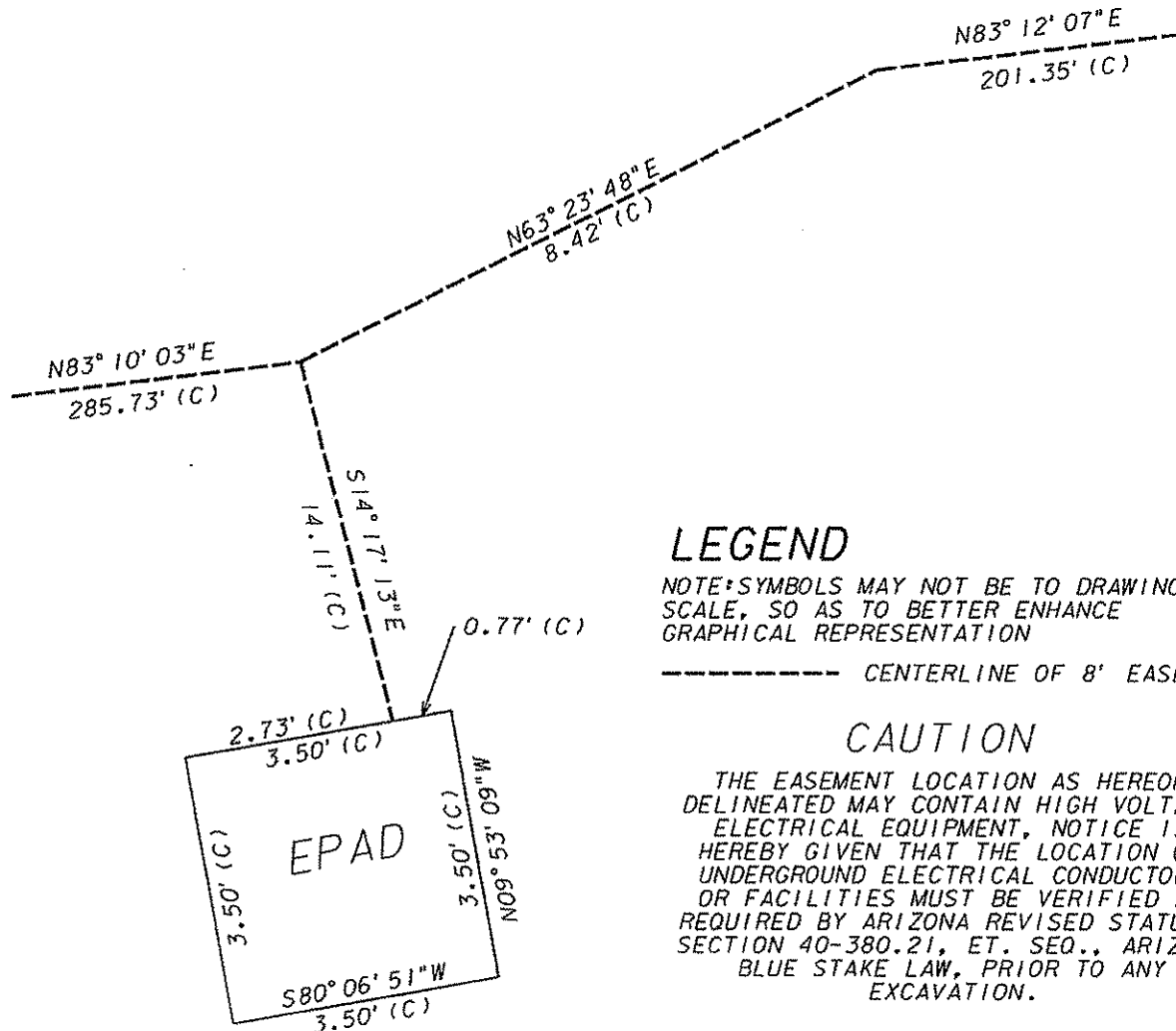
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SALT RIVER PROJECT A.I.  
& POWER DISTRICT

TEMPE MARKET PLACE  
23.9 EAST - 3.7 NORTH  
NW1/4, SEC 13, T1N, R4E  
UNDERGROUND ELECTRIC  
POWER LINE RIGHT-OF-WAY

DESIGNED	SCHULTZ	AGENT	MCGUIRE
DRAWN	MARTIN	APPROVED:	
DATE	02-27-08		
SCALE	N.T.S.	SHEET	6 OF 10

# "EXHIBIT A"



## LEGEND

NOTE: SYMBOLS MAY NOT BE TO DRAWING SCALE, SO AS TO BETTER ENHANCE GRAPHICAL REPRESENTATION

----- CENTERLINE OF 8' EASEMENT

## CAUTION

THE EASEMENT LOCATION AS HEREON DELINEATED MAY CONTAIN HIGH VOLTAGE ELECTRICAL EQUIPMENT, NOTICE IS HEREBY GIVEN THAT THE LOCATION OF UNDERGROUND ELECTRICAL CONDUCTORS OR FACILITIES MUST BE VERIFIED AS REQUIRED BY ARIZONA REVISED STATUTES, SECTION 40-380.21, ET. SEQ., ARIZONA BLUE STAKE LAW, PRIOR TO ANY EXCAVATION.

NOTE: THIS EXHIBIT IS INTENDED TO ACCOMPANY AN EASEMENT, IT IS NOT A SURVEY AND SHOULD NOT BE CONSTRUED AS SUCH.

EQUIPMENT PAD(S) ARE A PART OF THE EASEMENT UNLESS OTHERWISE NOTED.



DETAIL

SALT RIVER PROJECT A.I.  
& POWER DISTRICT

TEMPE MARKET PLACE  
23.9 EAST - 3.7 NORTH  
NW1/4, SEC 13, T1N, R4E  
UNDERGROUND ELECTRIC  
POWER LINE RIGHT-OF-WAY

DESIGNED	SCHULTZ	AGENT	MCGUIRE
DRAWN	MARTIN	APPROVED:	
DATE	02-18-08		
SCALE	N.T.S.	SHEET	7 OF 10

SRP JOB  
KJB-3073

# "EXHIBIT A"

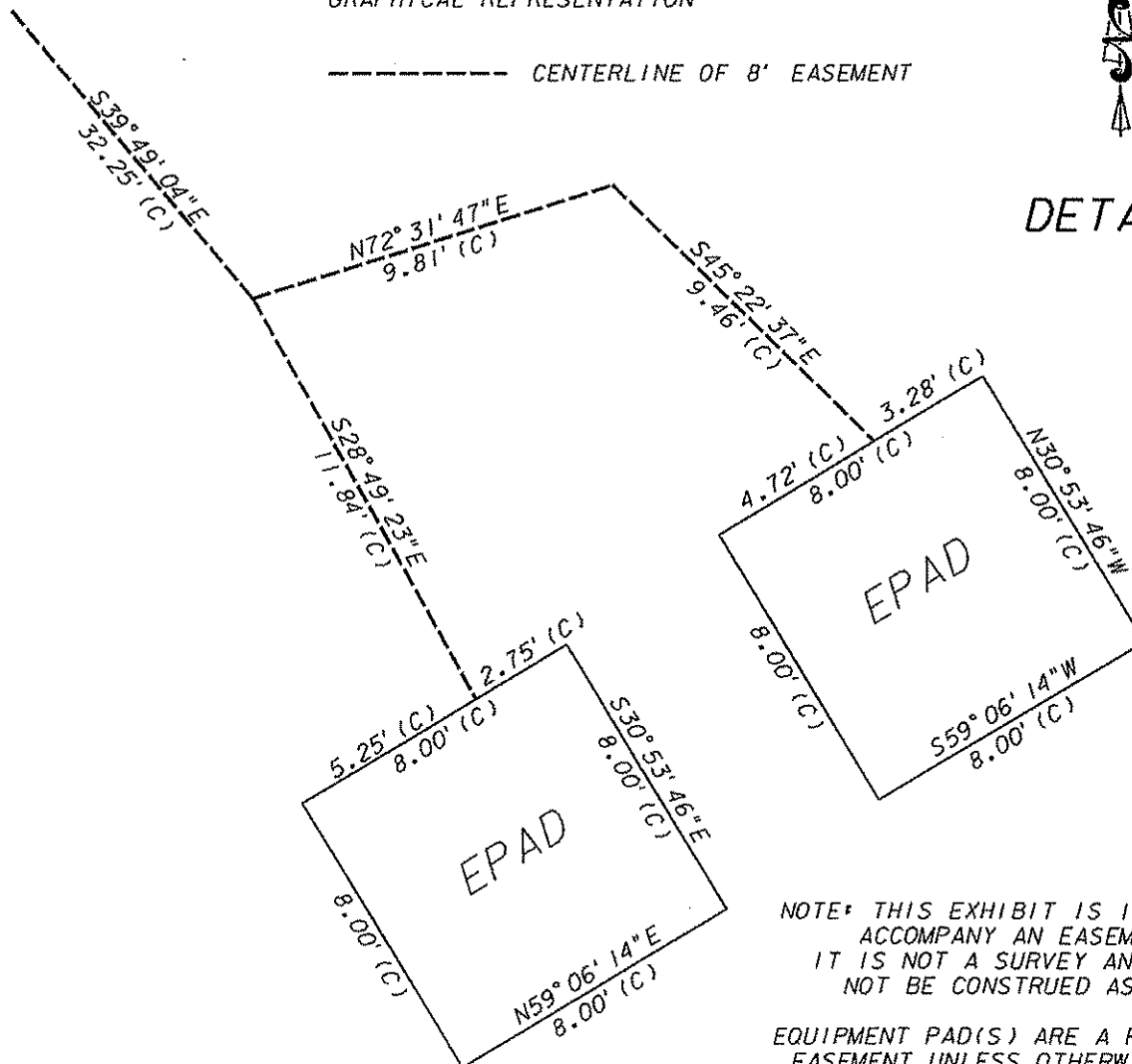
## LEGEND

NOTE: SYMBOLS MAY NOT BE TO DRAWING SCALE, SO AS TO BETTER ENHANCE GRAPHICAL REPRESENTATION

----- CENTERLINE OF 8' EASEMENT



DETAIL



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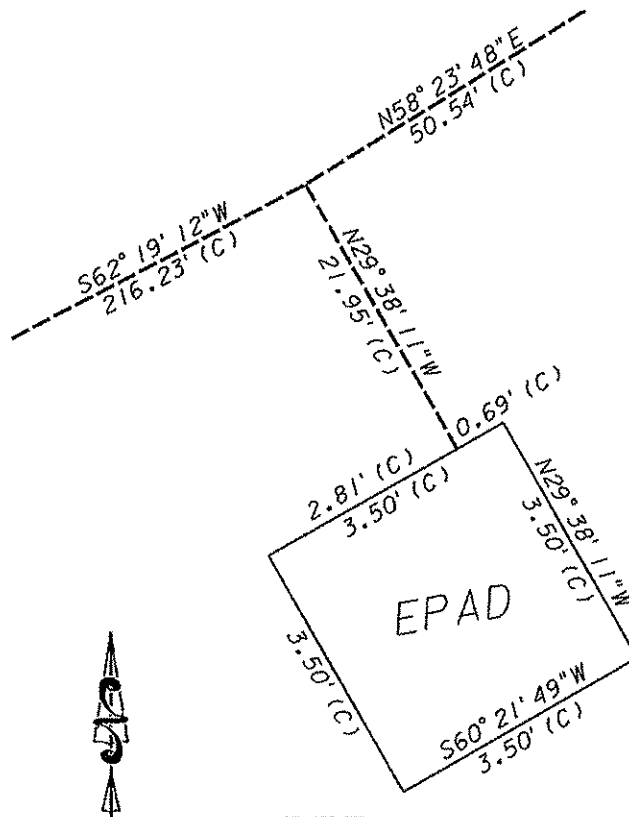
SRP JOB  
KJB-3073

SALT RIVER PROJECT A.I.  
& POWER DISTRICT

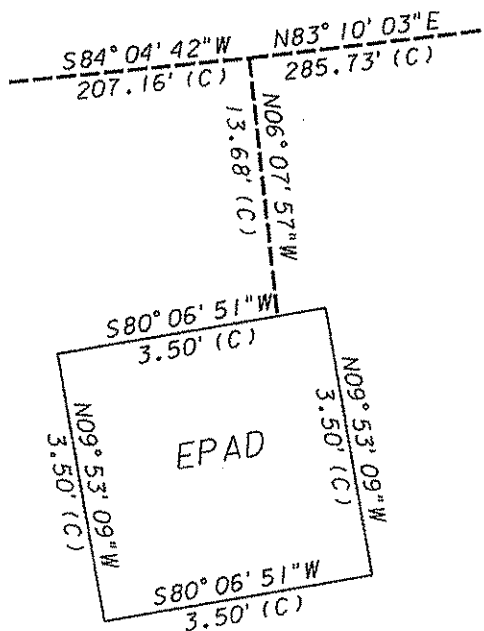
TEMPE MARKET PLACE  
23.9 EAST - 3.7 NORTH  
NW1/4, SEC 13, T1N, R4E  
UNDERGROUND ELECTRIC  
POWER LINE RIGHT-OF-WAY

DESIGNED	SCHULTZ	AGENT	MCGUIRE
DRAWN	MARTIN	APPROVED	
DATE	02-27-08		
SCALE	N.T.S.	SHEET	8 OF 10

# "EXHIBIT A"



DETAIL 2



DETAIL 1

## LEGEND

NOTE: SYMBOLS MAY NOT BE TO DRAWING SCALE, SO AS TO BETTER ENHANCE GRAPHICAL REPRESENTATION

----- CENTERLINE OF 8' EASEMENT

## CAUTION

THE EASEMENT LOCATION AS HEREON DELINEATED MAY CONTAIN HIGH VOLTAGE ELECTRICAL EQUIPMENT, NOTICE IS HEREBY GIVEN THAT THE LOCATION OF UNDERGROUND ELECTRICAL CONDUCTORS OR FACILITIES MUST BE VERIFIED AS REQUIRED BY ARIZONA REVISED STATUTES, SECTION 40-380.21, ET. SEQ., ARIZONA BLUE STAKE LAW, PRIOR TO ANY EXCAVATION.

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SALT RIVER PROJECT A.I.  
& POWER DISTRICT

TEMPE MARKET PLACE  
23.9 EAST - 3.7 NORTH  
NW1/4, SEC 13, T1N, R4E  
UNDERGROUND ELECTRIC  
POWER LINE RIGHT-OF-WAY

DESIGNED	SCHULTZ	AGENT	MCGUIRE
DRAWN	MARTIN	APPROVED:	
DATE	02-27-08		
SCALE	N.T.S.	SHEET	9 OF 10

SRP JOB  
KJB-3073



# "EXHIBIT A"

## LEGEND

NOTE: SYMBOLS MAY NOT BE TO DRAWING SCALE, SO AS TO BETTER ENHANCE GRAPHICAL REPRESENTATION

----- CENTERLINE OF 8' EASEMENT  
 \_\_\_\_\_ PROPERTY LINE

## CAUTION

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SALT RIVER PROJECT A.I.  
 & POWER DISTRICT

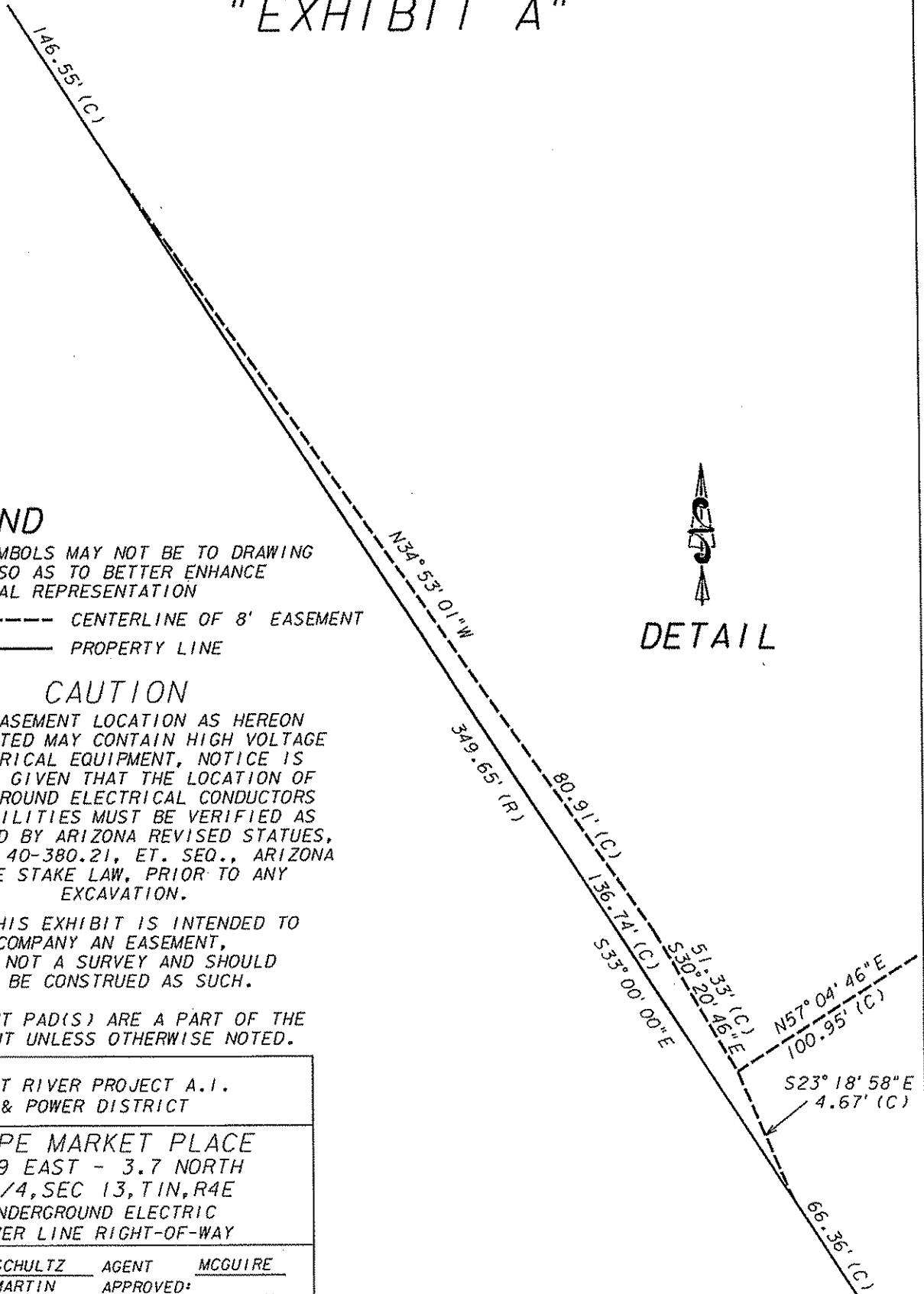
TEMPE MARKET PLACE  
 23.9 EAST - 3.7 NORTH  
 NW1/4, SEC 13, T1N, R4E  
 UNDERGROUND ELECTRIC  
 POWER LINE RIGHT-OF-WAY

DESIGNED	SCHULTZ	AGENT	MCGUIRE
DRAWN	MARTIN	APPROVED:	
DATE	02-27-08		
SCALE	N.T.S.	SHEET	10 OF 10

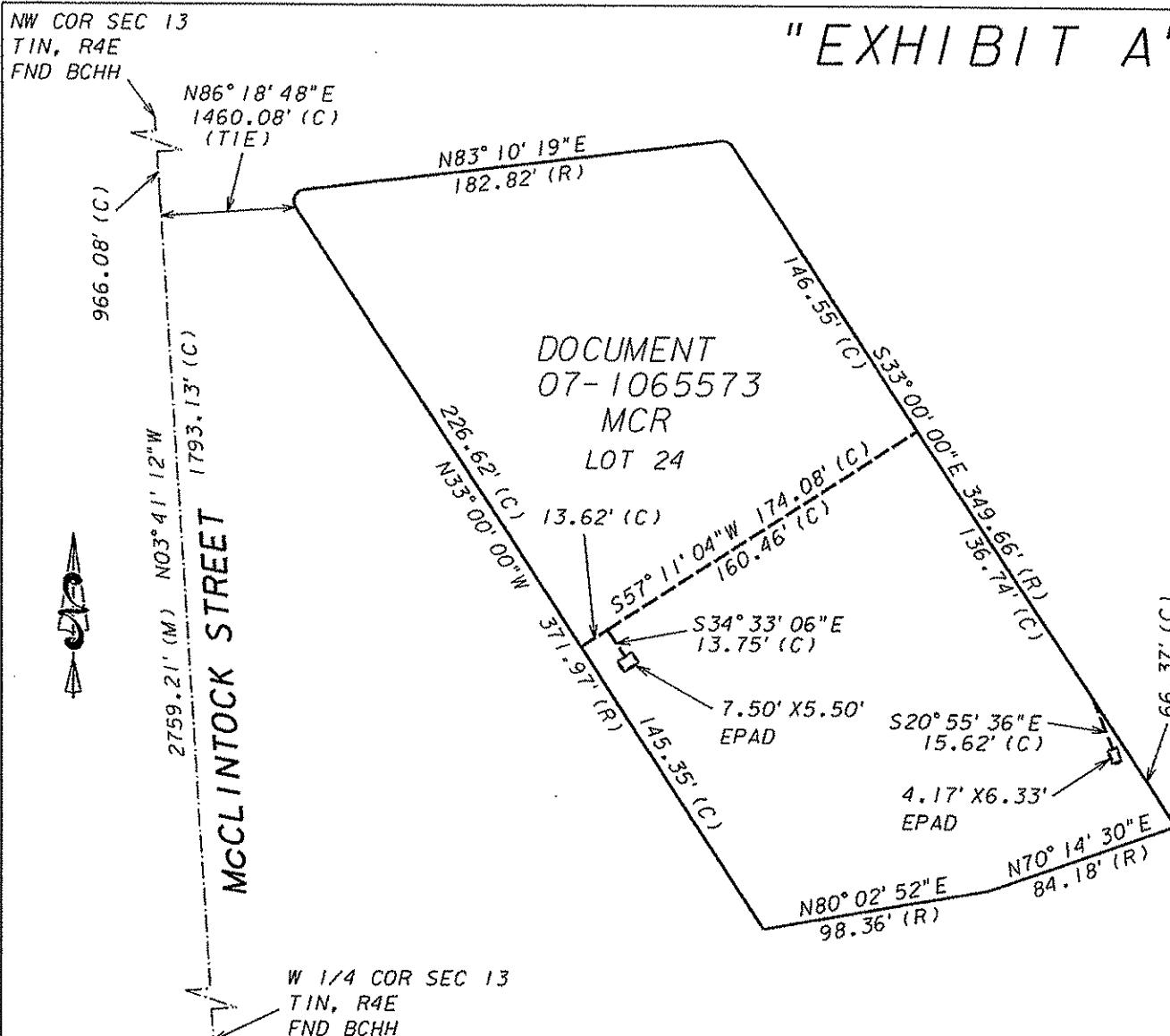
SRP JOB  
 KJB-3073



DETAIL



# "EXHIBIT A"



## LEGEND

NOTE: SYMBOLS MAY NOT BE TO DRAWING SCALE,  
SO AS TO BETTER ENHANCE GRAPHICAL REPRESENTATION

- SECTION AND CENTERLINE
- ===== PROPERTY LINE
- CENTERLINE OF 8' EASEMENT

## CAUTION

THE EASEMENT LOCATION AS HEREON  
DELINEATED MAY CONTAIN HIGH VOLTAGE  
ELECTRICAL EQUIPMENT, NOTICE IS  
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BLUE STAKE LAW, PRIOR TO ANY  
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SRP JOB  
KJB-3073

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SALT RIVER PROJECT A.I.  
& POWER DISTRICT

TEMPE MARKET PLACE  
23.9 EAST - 3.7 NORTH  
NW 1/4, SEC 13, T1N, R4E  
UNDERGROUND ELECTRIC  
POWER LINE RIGHT-OF-WAY

DESIGNED	SCHULTZ	AGENT	MCGUIRE
DRAWN	MARTIN	APPROVED:	
DATE	02-27-08		
SCALE	N.T.S.	SHEET	1 OF 1